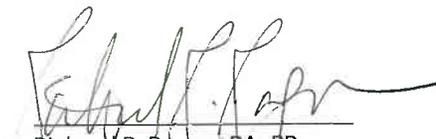




Pemberton Township
Browns Mills Town Center Redevelopment Plan



Adopted: *June 1, 2011* (Ord. # 12-2011)


Richard R. Ragan, RA, PP
President
License # 33LI00184900


Owen C. McCabe, PP, AICP
Associate
License # 33LI00606600

The original of this document was signed and sealed in accordance with N.J.A.C. 13:14-1.3(b).

This redevelopment plan was conducted, in part, by funds made available through the Delaware Valley Regional Planning Commission from a grant by the United States Federal Highway Administration

1000



ACKNOWLEDGMENTS

Ragan Design Group would like to acknowledge the individuals whose time and effort contributed to this study. A special thank you to all of the dedicated residents and business owners who participated in our public workshops.

Mayor David Patriarca

Township Council

Councilwoman Diane P. Stinney ♦ Councilman Ken Cartier ♦ Councilman Jason Allen ♦ Councilman Richard Prickett ♦ Councilwoman Sherry Scull

Planning Board Members

David Cooper, Planning Board Chairman ♦ Steven Borders, Vice Chairman ♦ Donna Lefebvre, Secretary ♦ Councilman Ken Cartier ♦ Mr. Dan Hullings ♦ Mrs. Christine Kalill ♦ Mrs. Helen Kemp ♦ Mayor David Patriarca ♦ Mr. Robert H. Jones ♦ Mr. William Doherty

Economic Steering Committee

Mayor David A. Patriarca
Councilwoman Diane P. Stinney
Councilman Thomas Inge
Councilman Richard Prickett
Steven Borders, Planning Board Vice Chairman
Mrs. Christine Kalill, Planning Board Member
Mrs. Helen Kemp, Planning Board Member
Michele Brown, Mayor and Administrator's Assistant
Christopher J. Vaz, Business Administrator
Mr. William Stinney, Resident
Mr. Bill Meehan, Resident and Business Owner
Mrs. Sandi Morris, Resident
George Petronis, Resident and Business Owner
Edward Fox, PP, AICP, Burlington County Economic Development & Regional Planning

Susan Grogan, PP, AICP, Pinelands Commission
Mr. Charles Jenkins, Township Resident and Business Owner
Richard Ragan, RA, PP, Ragan Design Group
Michael Wisnosky, PP, AICP, Ragan Design Group
Owen McCabe, PP, AICP, Ragan Design Group
Sean Ragan, ASLA, Ragan Design Group
Mrs. Dona Jenkins, Township Resident and Business Owner
Mr. William Doherty, Resident
Maurice Jones, Director of Redevelopment and UEZ Coordinator
David Jantas, Lieutenant, Pemberton Police Department
Fred Liguori, President of the Senior Citizen Council
Phil Sager, Superintendent of Public Works
Mr. Kevin Brown, Resident
Mr. Tom Besselman, Resident

TABLE OF CONTENTS

1.0 INTRODUCTION	1
1.1 Redevelopment Efforts	3
1.2 Constraints	4
1.3 Purpose and Intent of Redevelopment Plan	6
1.4 Overall Plan Summary	6
1.5 Local Goals and Objectives	18
2.0 ZONING AND LAND USE	21
2.1 Intention and Background	21
2.2 Regulating Plan	22
2.3 Building Typology and Site Standards	24
2.4 Cottage	25
2.5 Bungalow	27
2.6 Colonial House	29
2.7 Attached/Twin Home/Two Family	31
2.8 Townhome	33
2.9 Multiple Residential Units	35
2.10 Village Commercial	37
2.11 Corridor Commercial	39
3.0 GENERAL DEVELOPMENT AND ARCHITECTURAL STANDARDS	41
3.1 Building Elements	42
3.2 Architectural Elements	44
3.3 Site Elements	47
4.0 PERMITTED USES	50
4.1 Conditional Uses	52
5.0 STREET HIERARCHY PLAN	54
5.1 Town Boulevard	56
5.2 Village Street	57
5.3 Residential Neighborhood	59

5.4 Juliustown Road Plaza	60
5.5 Alley	61
5.6 General Streetscape Requirements and Principles	62
6.0 OPEN SPACE PLAN	65
7.0 PLAN IMPLEMENTATION	67
7.1 Zoning Map Revisions	67
7.2 Site Plan Conceptual Meetings	67
7.3 Deviations from the Redevelopment Plan	67
7.4 Site Plan Submissions	67
7.5 Lot Consolidation	68
7.6 Acquisition	68
7.7 Relocation	69
7.8 Affordable Housing	69
7.9 Relationship to Other Plans	70
8.0 DEFINITIONS	72

1.0 INTRODUCTION

Once a regional destination for recreation, family vacations, and medical treatment, downtown Browns Mills is now characterized by boarded-up and underutilized buildings, haphazard development, and vacant land. Over the past twenty years, Pemberton Township has attempted to infuse new investment and job opportunities in the downtown area by creating a redevelopment area, enrolling in the New Jersey Urban Enterprise Zone (UEZ) program and offering a reduced sales tax and tax abatements. During this time, the Township's redevelopment efforts have stalled or have not been fully implemented due to various economical and physical factors and the military downsizing its operations at Fort Dix.

Now, 2011, presents Pemberton Township with the unique opportunity to capitalize on new investments and opportunities occurring in and around the downtown area. The Department of Defense has consolidated McGuire Air Force Base, Fort Dix, and Lakehurst Naval Station, now known as Joint Base McGuire Dix Lakehurst (herein after "Joint Base"), into the largest military base on the east coast, which is creating a surge in military population and job opportunities in the area. The military is in the process of constructing 2,300 additional residential units on base and office buildings to support their expanded mission at the Joint Base. Deborah Heart and Lung Center has recently completed construction on an Emergency Room facility and is in the process of recruiting specialized-doctors such as oncologists, obstetricians, orthopedists etc., to the area. Most importantly, the residents of Pemberton Township are planning for the future and want to see Browns Mills restored to a recreation and unique shopping destination.

In order to take advantage of these investment opportunities occurring in the Browns Mills area and to address changes in market trends, the 1995 Browns Mills Town Center Redevelopment Plan (hereafter "1995 Redevelopment Plan") needs to be amended. The Township's 1995 Redevelopment Plan is 16 years old and several of the zoning and design regulations within the plan are now inconsistent with current planning principles such as Smart Growth policies, LEED certification, and streetscape enhancements. Township Council adopted a resolution on March 10, 2010, affirming that the Browns Mills Town Center Redevelopment Area continues to be an "area in need of redevelopment" pursuant to the Local Redevelopment and Housing Law, N.J.S.A. 40A:12A-1, et seq. and further found that certain parcels of property located adjacent to the existing Browns Mills Redevelopment Area (the "Expanded Area") are also an area in need of redevelopment and were made part of the Browns Mills Town Center Redevelopment Area. Through the same resolution adopted on March 17, 2010, Township Council directed the Pemberton Township Planning Board to prepare an amended redevelopment plan for the redevelopment area in accordance with N.J.S.A. 40A:12A-7 (f).

This plan amendment, known as the 2011 Browns Mills Town Center Redevelopment Plan (hereafter "2011 Redevelopment Plan") shall supersede and replace all previous versions and amendments of the 1995 Browns Mills Town Center Redevelopment Plan. The 2011 Redevelopment Plan establishes the land use and zoning policies needed to transform Browns Mills into an attractive downtown area that is an exciting place to live, work, and play. The 2011 Redevelopment Plan builds on the natural assets in Browns Mills such as Mirror Lake and the Rancocas Creek by emphasizing redevelopment activities that encourage pedestrian interaction, water recreation, and environmentally sensitive design. The 2011 Redevelopment Plan incorporates Smart Growth and New Urbanism land use and zoning concepts such as mixed use development, pedestrian walkways, parks, and community interaction. When completed, the downtown area will contain a diverse housing selection, commercial and office space, parks and other recreational amenities to support the needs of the residents, military, local businesses, students and visitors.



Legend

 Redevelopment Area

**BROWNS MILLS TOWN CENTER REDEVELOPMENT AREA
PEMBERTON TOWNSHIP, BURLINGTON COUNTY, NJ**

**RAGAN
DESIGN
GROUP**

ARCHITECTS
COMMUNITY AND ENVIRONMENTAL PLANNERS
SUITE C 3, 30 JACKSON ROAD, MILFORD, NJ 08058
PHONE: 609 654 8800 FAX: 609 654 4654
Richard R. Ragan, P.E.
www.ragan.com



1.1 Redevelopment Efforts

It has been well-documented in the Township's Master Plan Reexaminations and recently adopted Master Plan (July 2009) that there is an immediate need to redevelop Browns Mills in order to generate more investments in the downtown area. The 1995 Redevelopment Plan included planning policies to "facilitate redevelopment activities in the downtown area by providing opportunities for new commercial and business developments in the downtown area, promoting the attributes of Mirror Lake and the North Branch of the Rancocas Creek, and providing better opportunities for development along Noteboom and Dearborn Avenues."¹ One of the primary objectives of the 1995 Redevelopment Plan was to assemble several parcels at the intersection of Broadway and Trenton Road to enable a redeveloper to construct a large-scaled shopping center. Utilizing redevelopment powers and UEZ funds, the Township was able to partner with a private developer to develop the Pine Grove Shopping Center. The shopping center has provided the Township with additional ratable dollars and created over 100 jobs for Township residents.

Although the 1995 Redevelopment Plan was able to facilitate the development of the Pine Grove Shopping Center, the remaining redevelopment goals and zoning policies within the plan have become outdated and non-applicable to the current market demands for Township residents and business owners. There are still blighting conditions that exist in Browns Mills that are affecting the Township's ability to attract new businesses, job opportunities, and residents to the area. In an effort to remedy the blighted conditions in the downtown area, the Township has offered grants to business owners for site and façade improvements as well as engaged in stricter enforcement of zoning code standards, but has seen little success. In fact, the blighted conditions in the downtown area have expanded to areas that were not originally designated within the 1993 preliminary investigation report. In March 2010, Township Committee and the Planning Board amended the redevelopment area to include properties on Lakehurst Road adjacent to Mirror Lake and on Juliustown Road across from the Browns Mills Shopping Center.

In 2007, Pemberton Township's governing body received a Transportation Community Development Initiative (TCDI) grant from the Delaware Valley Regional Planning Commission (DVRPC) to develop a strategic plan and design guidelines to revitalize and redevelop Downtown Browns Mills. The main purpose of the revitalization study was to provide the Township's governing body and private investors with an action plan on how to revitalize Downtown Browns Mills into a viable commercial center that can support the daily needs of the military, Deborah Hospital, Burlington County Community College, and the residents of Pemberton Township. As part of the planning process, the Township evaluated existing land uses, zoning regulations, circulation patterns, environmental constraints, streetscape designs, regional markets, business climate and local economies. The planning process began in December 2007 when the administration organized an Economic Steering Committee (hereafter "Steering Committee") to facilitate and spearhead the revitalization study for Downtown Browns Mills. The Steering Committee held public meetings on the first Tuesday of the month to encourage public participation and to ascertain a community vision for Downtown Browns Mills. The grant produced the *Browns Mills Strategic Revitalization and Redevelopment Study* (hereafter "Revitalization Plan"), which was incorporated as an addendum into the Township's Master Plan in July 2010 and now serves as the foundation for the zoning and development standards outlined in this redevelopment plan.

In 2010, the Township hired JGSC to prepare a market analysis and retail assessment for Browns Mills to determine retail gaps in the market. The marketing report revealed the following:

1. JGSC's market analysis report recommends that the area along Pemberton Browns Mills Road be developed with traditional retail stores such as home furnishings, kitchenware, home goods etc. This type of commercial development can take advantage of UEZ programs to attract

¹ Browns Mills Town Center Redevelopment Plan adopted March 16, 1995.

shoppers from a wider region and save on higher cost retail items with the reduction in state sales tax permitted under UEZ authority. This will enable Browns Mills to be a regional destination for home renovations and upgrades.

2. Their consumer research and survey “revealed strong demand of Pemberton ‘empty nesters’ residents for new, smaller, market-rate housing within the proposed redevelopment area.”² JGSC projected sufficient demand to support up to “250 units (a mix of market rate townhouses near Juliustown Road and mid-rise condos with lake views behind them)”.³ Specifically, the report recommended a variety of residential development housing options in Noteboom Avenue area to support the downtown area.
3. Pemberton residents enjoy outdoor recreation activities, going to the movies, and eating at full service restaurants. Currently, there is a \$150.9 million unmet need for full service restaurants within 15 miles of the redevelopment area. The report recommended designating areas throughout the Township for full service restaurants that have lake views as well as capitalize on the natural recreation assets in the Township.

The redevelopment plan incorporates the recommendations within the marketing report and implements zoning regulations that will facilitate development in Browns Mills which will fulfill the underserved market areas identified in the report such as full service restaurants, home furnishings, entertainment, and recreation.

1.2 Constraints

1.2.1 Environmental Contamination

Following the end of World War II and the mass production of automobiles and road networks, the amount of car dealerships, repair shops, and gas stations increased throughout the country. Within the redevelopment area there are former auto repair shops, gas stations and oil supplies that may have discharged contaminants into the ground. A review of NJDEP’s Known Contaminated Sites list indicates there are 5 sites (or in close proximity) within the Redevelopment Area that have (or had) environmental issues that are being monitored by the New Jersey Department of Environmental Protection (NJDEP).

1.2.2 Air Hazard Zone

N.J.S.A. 40:55D-28 b.(2)(c) requires a municipal master plan land use element to show any existing or proposed location of any airports and the boundaries of any airport safety zones delineated pursuant to the Air Safety and Zoning Act of 1983, P.L. 1983, c.260 (C.6:1-80 et seq.). Within the redevelopment area there is a military flight zone known as the Air Installation Compatible Use Zone (AICUZ) that covers a portion of the Lakeshore Mobile Home community, the Browns Mills Shopping Center, and several single family homes along Pemberton Browns Mills Road. The Department of Defense does not recommend single family homes on less than three acres or multifamily homes, specifically mobile home communities, within the APZ II zone. Township Council prepared an APZ ordinance, which would implement an overlay district that would preclude the development of residential dwellings on less than three acres in the APZ II overlay. As part of the ordinance, there was a clause that prevented non-conforming land uses, such as residential units on less than three acres, from rebuilding if it was destroyed by weather, fire, or natural disaster. This clause is consistent with the Municipal Land Use Law which indicates “total destruction of a non-conforming use, whether by design or accident, terminates the use.”⁴ Several residents in MH and R-3 zoning districts, voiced concerns that the APZ ordinance is a “taking” since they cannot rebuild their homes if it is

² Pemberton Township, NJ: Marketing Analysis & Downtown Revitalization Strategies. Prepared by Community Insights, January 2011; page vi.

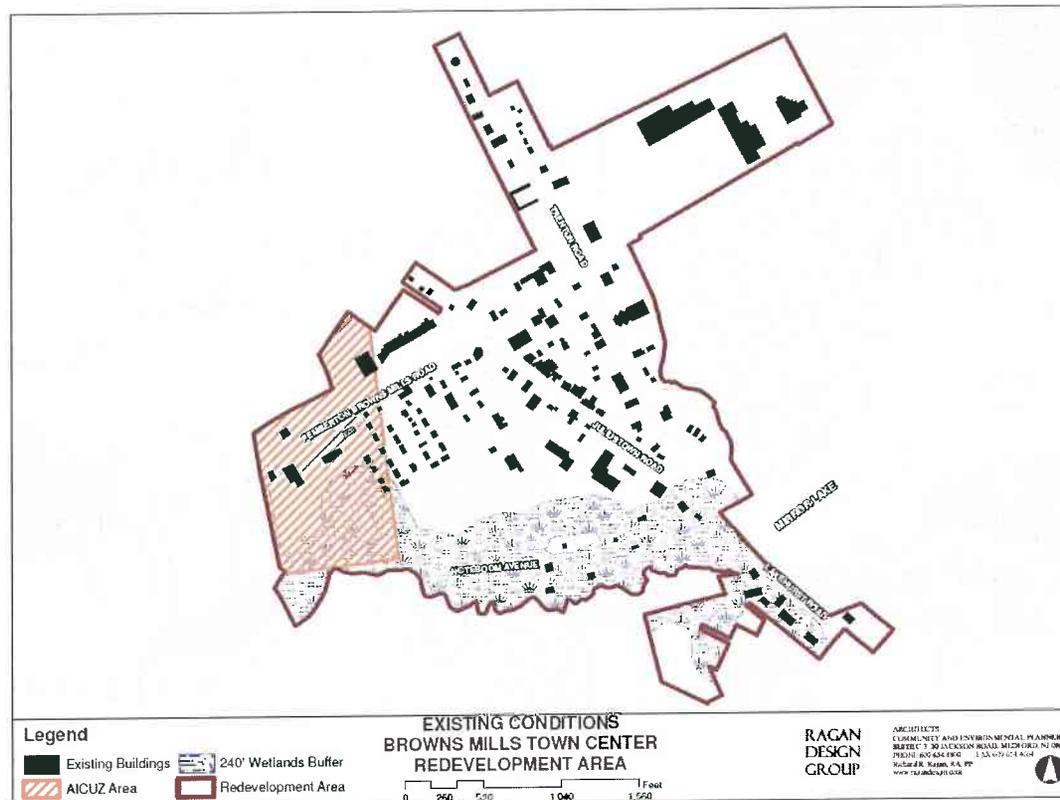
³ Ibid. see page vi.

⁴ *Hay v. Bd. Of Adjustments of Ft. Lee*, 37 N.J. Super. 461 (App. Div. 1955). See also 2009 New Jersey Zoning and Land Use Administration by William Cox with Donald M. Ross; Page 3301.

destroyed. In an effort to support the military's mission and to protect the interests of the residents, it is recommended that the Township consider adopting a revised APZ overlay ordinance that would allow preexisting homes to be rebuilt by the same owner if it is destroyed.

1.2.3 Pinelands Buffer Requirement

In 2000, the Township communicated with the Pinelands Commission with respect to the possibility of developing a buffer reduction plan for the Township-owned land north of the Rancocas Creek to facilitate commercial and office development. The existing buffer requirement imposed by the Pinelands Commission is 240 feet, which was determined when a developer proposed building a grocery market in this area. In an effort to make the area more attractive to developers, the Township asked the Pinelands Commission for a buffer reduction. The Pinelands Commission instructed the Township to develop a plan for the buffer reductions. They advised the Township to provide a plan that included a wetlands survey, location of future paving and building placements, and buffer protection areas. Due to a lack of private investment and public funding, the Township did not follow through with the wetlands analysis. As part of the visioning process, members of the Steering Committee met with the Pinelands to discuss future development potential along Noteboom Avenue. The Pinelands Commission advised the Steering Committee to reinitiate this analysis. It is recommended that the Township pursue UEZ and New Jersey Redevelopment Authority (NJRA) funds to complete this wetlands analysis in order to determine an amicable buffer reduction plan.



1.3 Purpose and Intent of Redevelopment Plan

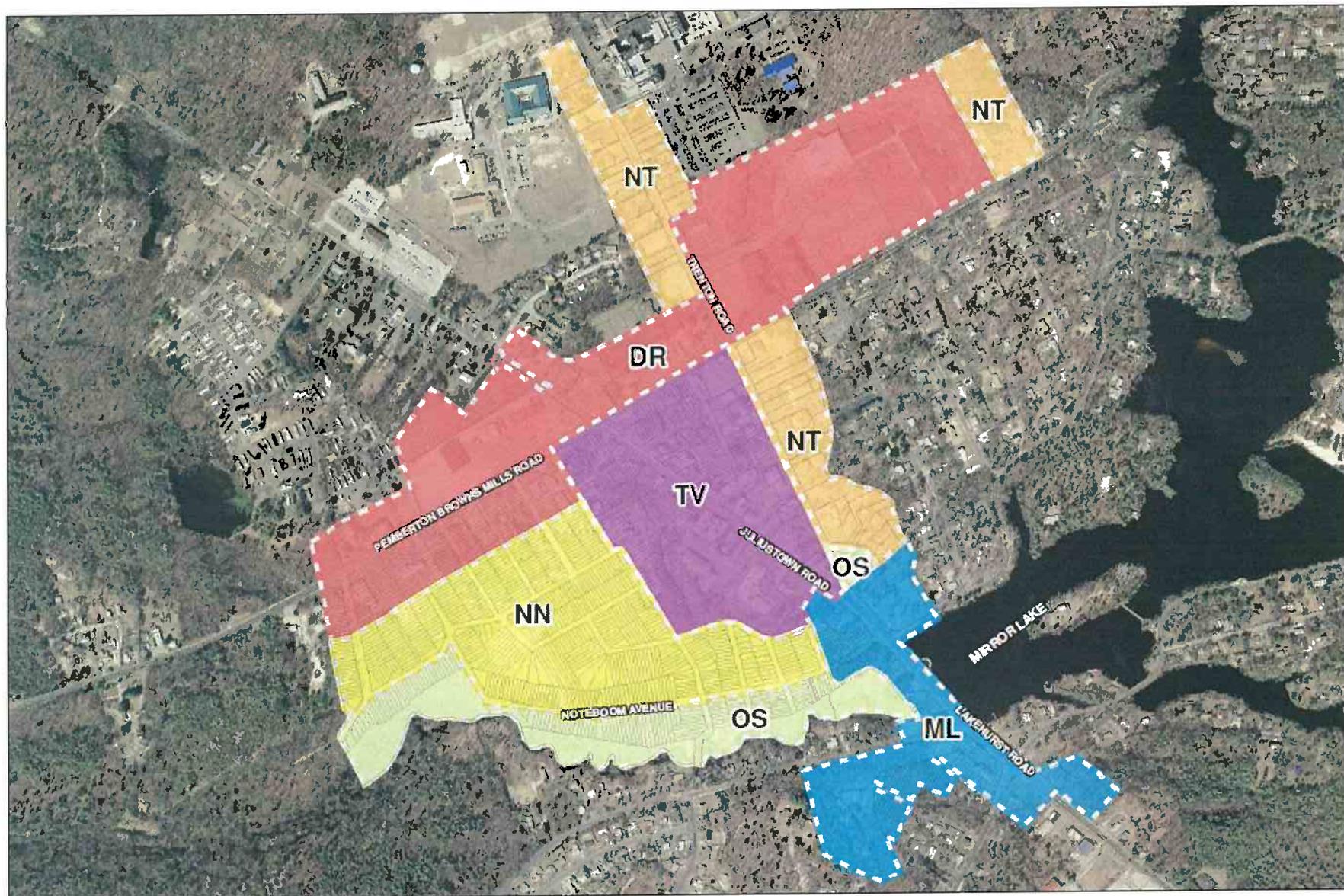
The primary purpose of 2011 Redevelopment Plan is to amend the 1995 Redevelopment Plan to include zoning and design guidelines that are consistent with the community's vision and policies outlined within the Revitalization Plan. Specifically, the intent of the amendment is to establish the policies and land use standards needed to bring the Township's redevelopment vision for Browns Mills to fruition. The 2011 Redevelopment Plan will create a viable downtown that accommodates diverse lifestyles, incomes, professionals, and land uses. The first step in recreating a viable neighborhood requires implementing future land use and zoning policies that will build a critical mass that encourages pedestrian activity on the street. Upon passage of this redevelopment plan amendment, the designated redevelopment area will permit mixed-use buildings with commercial/retail space on the first floor and office/commercial/residential on the second floor. Within high traffic areas in the redevelopment area, residential units are prohibited on the first floor because they do not create any activity or economic value after 5:00 pm or on the weekends. Specifically, this 2011 Redevelopment Plan establishes the codes and conditions under where activity within the Browns Mills Town Center Redevelopment Area is implemented. Utilizing a Formed-Base Code (hereafter "FBC"), the 2011 Redevelopment Plan describes the zoning and permitted uses within the redevelopment area based on building types, also known as building typologies, and street hierarchy. The 2011 Redevelopment Plan includes the street designs, mandatory uses through the establishment of a Regulation Plan, building placement and height requirements, architecture elements and other design characteristics to ensure the community's vision for the downtown area is brought from concept to reality.

1.4 Overall Plan Summary

Downtown Browns Mills' lake frontage is the prime attribute that differentiates it from other downtowns trying to revitalize and retain their community character. The overall objective of this redevelopment plan is to utilize Mirror Lake and the other natural attributes found in Browns Mills and create a regional destination with shopping, recreation, and entertainment. As the redevelopment is implemented, downtown Browns Mills will contain many of the assets it had when it was a well-known recreation and progressive medical treatment area – an attractive downtown with mixed use buildings, retail, entertainment, and recreation. The objectives outlined in this redevelopment plan are the direct result of extensive community visioning and design workshops in preparation of the Township's comprehensive master plan, the Browns Mills Downtown Strategic Revitalization Study, and the JGSC Marketing Analysis. The community overwhelmingly stated that the main focus of the redevelopment plan shall be:

- 1) Restore Browns Mills to a recreation destination with lakeside activities, shopping, and entertainment.
- 2) Generate new ratables and job opportunities in the downtown area by encouraging more commercial, retail, and restaurant development to support the needs of Deborah Hospital, the Joint Base, and the community.
- 3) Increase the residential density by offering a variety of housing options in the downtown area.
- 4) Rehabilitate older shopper centers and buildings into more attractive buildings to improve the quality of stores in Browns Mills.

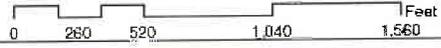
There are six (6) sub-districts within the redevelopment area: Town Village (TV), Destination Retail (DR), Noteboom Neighborhood (NN), Neighborhood Transition (NT), Mirror Lake (ML), and Open Space (OS). Below are specific guidelines for each sub-district within the redevelopment area:



Legend

-  TV - Town Village
-  DR - Destination Retail
-  NN - Noteboom Neighborhood
-  ML - Mirror Lake
-  NT - Neighborhood Transition
-  OS - Open Space

**PROPOSED SUB-DISTRICTS
BROWNS MILLS TOWN CENTER
REDEVELOPMENT AREA**

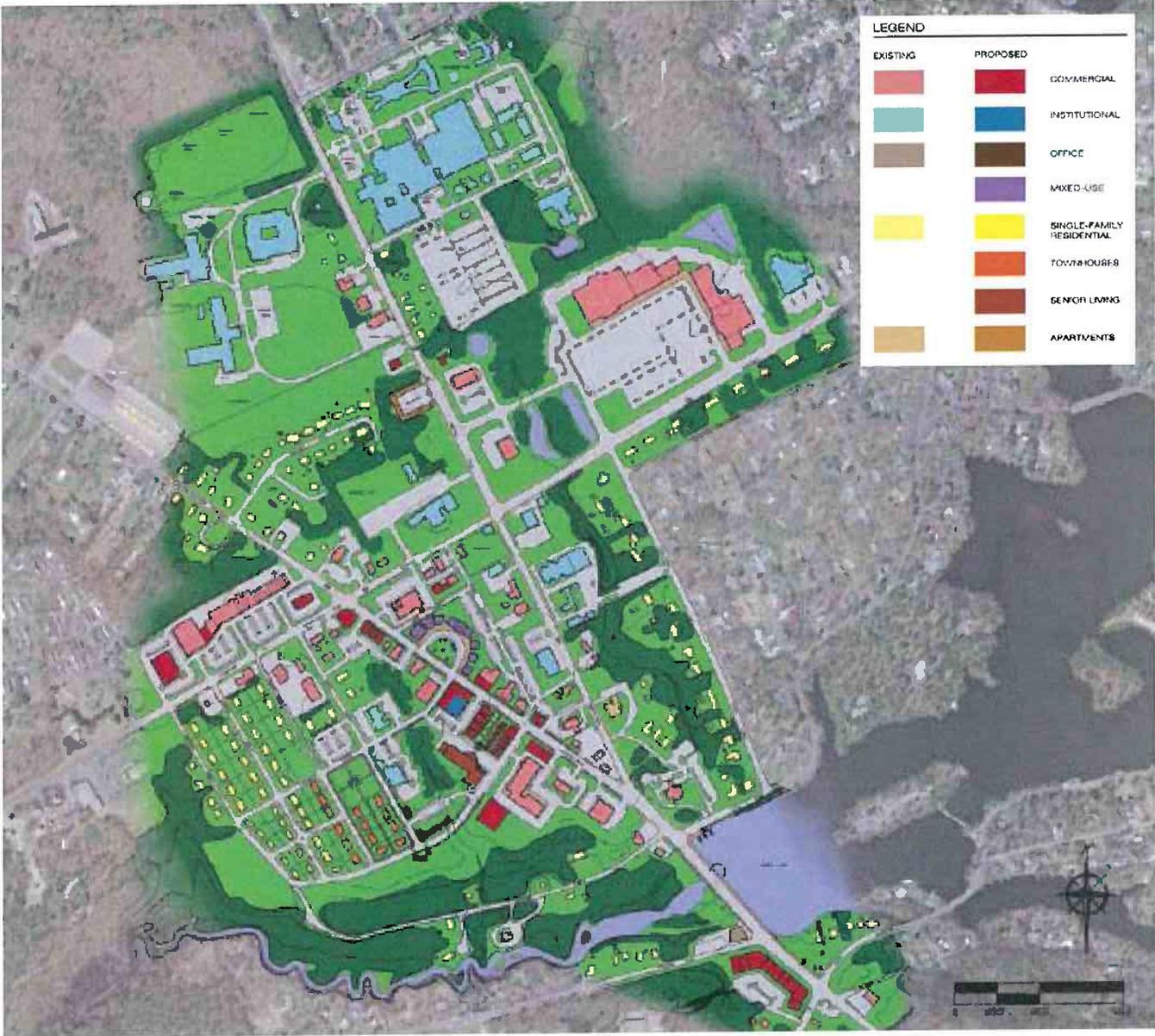


**RAGAN
DESIGN
GROUP**

ARCHITECTS
COMMUNITY AND ENVIRONMENTAL PLANNERS
510 F.C. 30 JACKSON ROAD, MIDDLETOWN, NJ 08855
PHONE: 609.654.8100 FAX: 609.654.4664
Richard R. Ragan, P.A., P.P.
www.ragandesign.com



BROWNS MILLS TOWN CENTER REDEVELOPMENT ILLUSTRATIVE PLAN



1.4.1 Town Village District

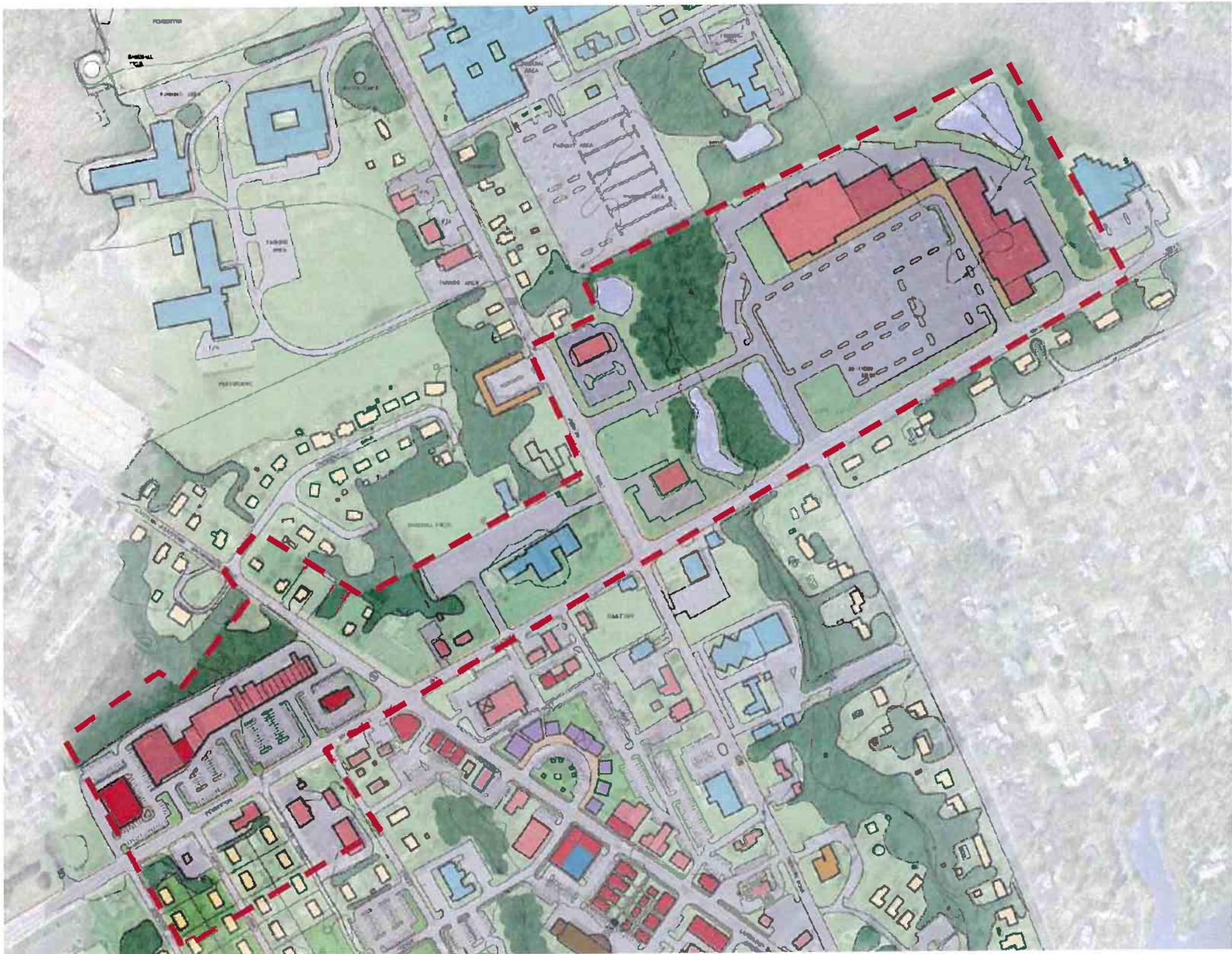
- a. Juliustown Road, Trenton Road and Pemberton Browns Mills Road are the main thoroughfares into Browns Mills. At one time, travelers from Philadelphia and Trenton would use these roadways on their way to shore points and would stop in Browns Mills to freshen-up at one of the luxurious boarding houses, eat at one of the restaurants, or stay for a couple of days and utilize the recreation opportunities at Mirror Lake. The eastside of Juliustown Road is the most noticeable street in all of Browns Mills. To set the theme for a newly reinvigorated downtown area, the redevelopment plan recommends that a new public plaza be created on the eastside of Juliustown Road. A commercial prominent building occupied by an anchor tenant shall be constructed at the apex of the public plaza. The prominent building shall have an iconic architectural element on top of the building such as a clock tower, cupola, or steeple to signify the importance of the site.
- b. Mixed-use buildings that support the needs of the community shall flank the prominent building. All buildings shall front the street with limited setbacks from the ROW. New facades shall be placed on existing buildings fronting Juliustown Road to bring them closer to the road and create more of a human-scaled environment.
- c. A wide sidewalk and streetscaping shall be provided to encourage pedestrian circulation, human interaction, and ground level activity.
- d. A public plaza with a fountain, landscaping, green space, and park benches shall be constructed facing Juliustown Road, which will provide an attraction in the downtown area and encourage people to spend more time in Browns Mills. The public plaza can be utilized for farmers' markets, community events, and entertainment. A new one way road with on-street parking will be created to facilitate vehicles around the plaza. The new roadway will connect with Dearborn Avenue.
- e. Similar to the eastside of Juliustown Road, all buildings along the western side of Juliustown Road frontages shall be expanded towards the front property line to create a pedestrian environment and to facilitate a better site design.
- f. The municipal parking lot shall be expanded, repaved and reoriented to accommodate the increase demand in parking spaces associated with new development in the downtown area. Market Street shall be continued to Busansky Road to provide for better circulation.



Town Village District Illustrative Plan

1.4.2 Destination Retail District

- a. Redevelop the Browns Mills Shopping Center into a successful retail center focused on home furnishings and domestic retail needs.
- b. Improve the gateway entrance into the Township by improving building façades and building architectural details along Pemberton Browns Mills Road. New buildings shall be oriented towards Pemberton Browns Mills Road with parking located in the side and rear yard.
- c. Street trees, landscaping, pedestrian crosswalks and new sidewalks shall be constructed to improve the gateway entrance into the redevelopment area.
- d. Smaller lots shall be consolidated to create larger lot areas in order to attract more businesses and retailers to the downtown area.
- e. All new development along Pemberton Browns Mills Road shall construct ADA compliant sidewalks and ramps to improve pedestrian circulation in the downtown area. Buffering and street trees in accordance with this plan shall be planted to soften the appearance of the industrial land uses located on the roadway in accordance with this plan. Additionally, all new buildings shall be oriented towards Pemberton Browns Mills Road.



Destination Retail District Illustrative Plan

1.4.3 Noteboom Neighborhood District

- a. The Noteboom Neighborhood district shall contain a mixture of single family, townhouses, and twin residential units to support the neighborhood retail stores in the downtown area and provide additional housing options for empty nesters, young professionals, college students and military personnel.
- b. A community park, such as a tot lot with playground equipment, shall be created in this area to support the recreational needs of the residents.
- c. The vacant parcels along Noteboom Avenue are already structured in a traditional grid pattern. There are several roads in the Noteboom area that are unimproved and identified as paper streets on the tax maps. To improve circulation and make the area more accessible from Juliustown Road and Pemberton Browns Mills Road, it is recommended that the following roads be created and/or improved as required in the Street Hierarchy Plan (See Section 5.0):
 - Dearborn Avenue: Fairfield Street to Juliustown Plaza.
 - Fairfield Street: Dearborn Avenue to Hill Street.
 - Ashton Street: Dearborn Avenue to Hill Street.
 - Brook Street: Dearborn Avenue to Hill Street and Millview Road.
 - Hill Street: Connect with Juliustown Road.
- d. At the Master Plan Workshops and Steering Committee Meetings, senior citizens and representatives from the Parks and Recreation Department indicated that there is an insufficient amount of parking at the senior center even with the senior bus providing free public transportation. There are only 33 parking spaces at the Senior Center. Employees and senior citizens use all of them. The Senior Center Program Director has indicated that the facility requires 20 additional parking spaces. When all the parking spaces are being used, seniors park on the grass between the trees at the Senior Center and across the street in the Post Office's parking lot. The Post Office has remained silent on this issue even though several residents have raised concerns that there is not enough parking at the post office during certain hours of the day. On the other side of Brook Street (directly across from the Senior Center), there are 8 vacant parcels (Block 534; Lots 23 - 30) owned by O'Brien and Sons Hardware which shall be purchased to create additional parking for the Senior Center. The lots are each 20' x 80' totaling 0.29 acres, which would approximately yield 25 parking spaces.

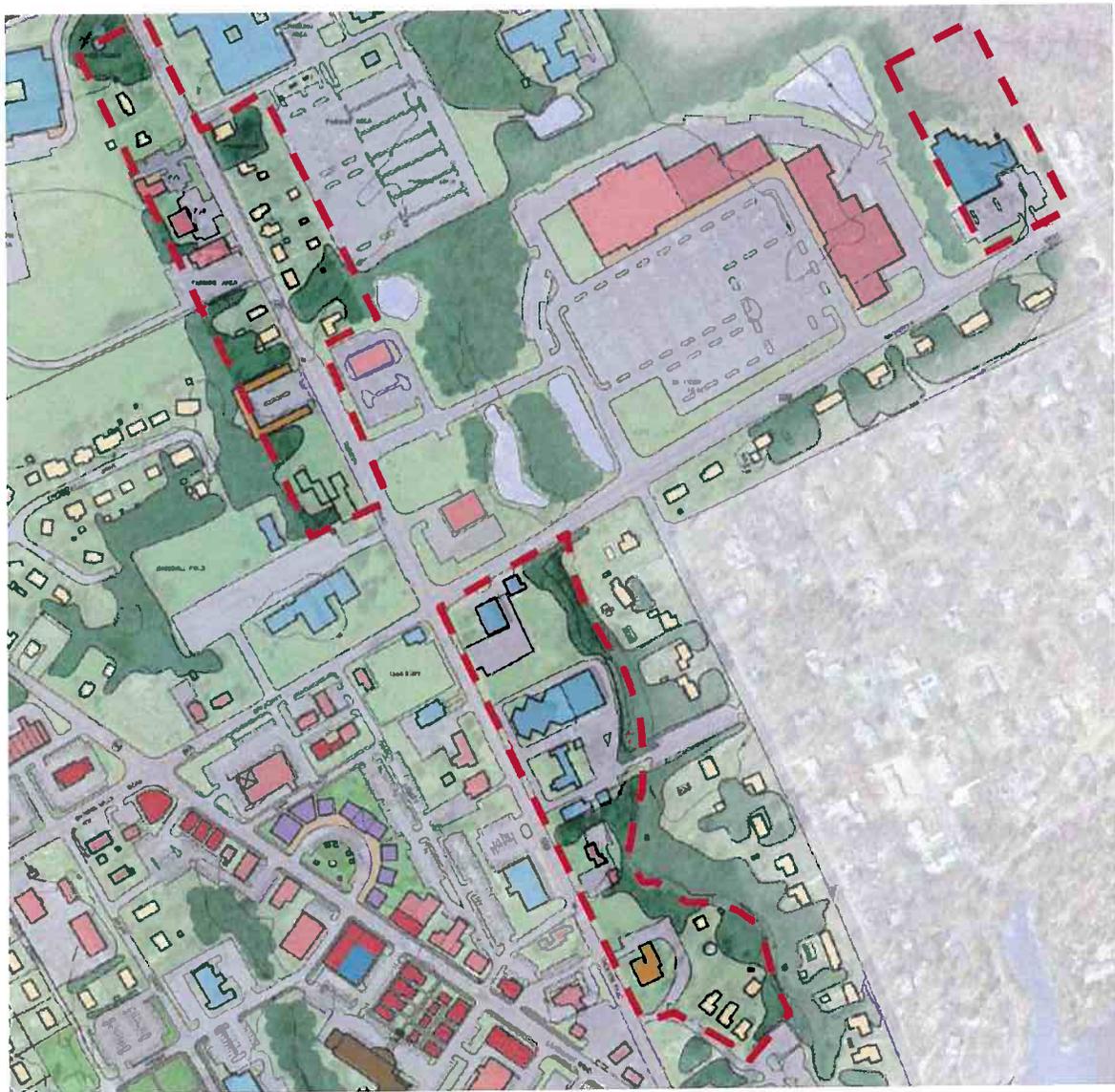


Noteboom Neighborhood District Illustrative Plan

1.4.4 Neighborhood Transition (NT)

- a. Trenton Road is mostly comprised of institutional uses such as Deborah Heart and Lung Center, Stackhouse Elementary School, four places of worship, the Browns Mills Volunteer Fire and Rescue Company, and the school board administrative building. During the visioning process, Deborah Hospital advised members of the Township that they would like to partner with the Township and local real estate agents to bring more general practitioners and specialty physicians to Browns Mills to fill over 50,000 square feet of vacant medical office space that they have on their campus. To reduce the development impacts on the adjacent residential neighborhood, all development in this district shall be low intense with minimal site disturbance and traffic volumes. Development shall consist of institutional use, small scale neighborhood commercial stores, and professional medical office space to support the needs of the community and Deborah Hospital.
- b. Trenton Road is mostly built-out with a few vacant parcels and buildings. The vacant land across from the Pine Grove Shopping Center shall be utilized for medical offices and/or medical laboratories. The property is listed on NJDEP's Known Contaminated Site list and will require environmental remediation. The vacant house north of McDonald's should be converted into medical office space, education facilities and

laboratories. Additionally, older dilapidated buildings along Trenton Road shall be converted into mixed-use medical and professional offices with residential units on the second floor.



Neighborhood Transition District Illustrative Plan

1.4.5 Mirror Lake District (ML)

- a. Williams Paving, which is currently vacant, shall be purchased and developed into a village shopping center with pedestrian connections to Mirror Lake, the Rancocas Creek, and Reflection Park. This site is one of the only properties with more than five acres of developable land. The shopping center shall contain a family restaurant overlooking Mirror Lake and Reflection Park.
- b. Parking shall be located behind the village shopping center and not visible from Lakehurst Road. Rancocas Lane shall serve as an access road to the village shopping center.
- c. The Township's parking lot on Lakehurst Road shall be used for overflow parking for the village shopping center and during special events at Mirror Lake such as the Water Carnival.

1.4.6 Open Space District (OS)

- a. During the visioning process, residents expressed a strong desire to create a multiuse trail around Mirror Lake. A trail comprised of boardwalks, dirt paths, and crushed stones around the lake similar to those in the Florida Everglades and around Lake Tahoe shall be created.
- b. Burlington County Department of Parks is in the process of developing a master plan for future trails in Burlington County. This plan will be an amendment to the County's existing Park and Open Space Plan. The plan will include connector trails, bikeways, water canoe trails, all terrain bike trails, cross-country ski trails, and equestrian trails. To foster the eco-tourism vision for Browns Mills, it is recommended that a canoe/kayak store be created near Reflection Park to encourage the utilization of the Rancocas Creek and Mirror Lake.
- c. Mirror Lake Dam used to be bordered by convenience stores and ice cream parlors. In an effort to recreate that atmosphere, it is recommended the Township work with Burlington County and the NJDEP on allowing restaurants and commercial retailers to locate near the dam in order to create some type of synergy along the lake.



Mirror Lake and Open Space Districts Illustrative Plan

1.4.7 Infrastructure Improvements

Any redevelopment plan shall be supported by adequate infrastructure and services. As noted in the revitalization plan, the Township's existing sewer and water infrastructure is in good condition and has capacity for additional development. The Township is actively working with the NJDEP to resolve any outstanding issues with pollutants in one of its wells.

- The Township shall work with the military and JCP&L with relocating the electric wires underground to improve the appearance of the downtown area. All new developments shall be required to place utility lines underground.
- The Township shall conduct a feasibility study to determine whether a watermill on Mirror Lake Dam can generate hydroelectric energy to supply power for the lights and possibly the businesses in the downtown area.
- Discussion shall continue with the Pinelands Commission to develop a regional stormwater management system to reduce the number of stormwater basins in the redevelopment area.
- The Township is currently under a water moratorium from the NJDEP due to high levels of radium found in one of its wells. At this time, the Township is unable to issue water permits for any type of new development. The Township has entered into a Memorandum of Agreement with NJDEP and is resolving this issue. It is anticipated this issue will be resolved by December 2011.
- Pemberton MUA has sufficient capacity to accommodate new development in the redevelopment area. All lines are to be telescoped and letter of certification from the Pemberton MUA prior to receiving a Certificate of Occupancy (CO) shall be provided to the Township Engineer as part of the site plan approval process.

1.5 Local Goal and Objectives

The goals and objectives establish the appearance and atmosphere the Township wants to achieve in Browns Mills over the next 15 years. The goals noted-below are broad policy statements, which the Township should strive to attain. The bullet points following the goals statements are tangible objectives the Township needs to implement in order to bring this Redevelopment Plan to fruition. These goals and objectives have been extrapolated from the Browns Mills Revitalization and Redevelopment Study which was amended to the Township's comprehensive master plan on July 8, 2010.

*1.5.1 GOAL: Develop a **pedestrian-oriented downtown** that facilitates safe mobility and encourages sidewalk activity.*

- Create an attractive streetscape for all roadways within the study area that includes 8' to 14' sidewalks, street trees, benches, ornamental lights, security cameras, and wayfinding signs in retail districts.
- Work with the Burlington County Department of Land Development, Pemberton Township Public Works Department, and Fire Department on allowing on-street parallel parking on all streets within the redevelopment area.
- Implement a wayfinding plan to direct motorists and pedestrians to Deborah Heart and Lung Center, the Joint Base, Mirror Lake Recreation Area, Senior Center, the municipal parking lot, street names, and commercial businesses.
- Require pedestrian crossing lights and crosswalks at all major intersections and mid-block crossings within the redevelopment area.
- Install ADA compliant sidewalk ramps and bump outs at all curb cuts to provide a safe environment and reduce the risk of conflicts between motorists and pedestrians.

*1.5.2 GOAL: Encourage a **mixture of land uses** in the downtown area to support a greater level of activity in Browns Mills, which can increase the number businesses and improve the economic viability of the Downtown Browns Mills.*

- Accommodate the demand by young active adults such as students, professionals and military personnel, by improving the selection and quality of residential housing types in Browns Mills which will help support the local retailers and increase ratables.
- Modify the Town Center (TC) zoning district and bulk requirements to a form-based zoning code which places more emphasis on building architecture, street orientation, and pedestrian scale rather than parking requirements and land use groups.
- Work with the Pinelands Commission on determining a feasible residential density in Browns Mills to support commercial activities.
- Support two to three story mixed-use buildings on Juliustown Road, Pemberton Browns Mills Road, and Trenton Road with the first floor being utilized by commercial space and the second and third story used for residential space, office or retail space. Residential units on the first floor should be prohibited on Juliustown Road, Pemberton Browns Mill Road, and Trenton Road in order to create longer durations of activity in the downtown area.

*1.5.3 GOAL: Support the expansion of existing businesses and the development new businesses through **financial incentives, infill development, land assemblage, lot consolidations and building rehabilitation.***

- Create public and private partnerships to acquire land and buildings that are dilapidated, blighted, and underutilized for redevelopment.
- Provide financial incentives to business owners and investors such as tax abatements, Redevelopment Payment in Lieu of Taxes (PILOTs), and UEZ funding mechanisms for façade improvements, infrastructure enhancements, and streetscape elements.
- Consolidate smaller lots into larger lots to entice larger developments in the downtown area as well as to conform to Pinelands Stormwater Management Regulations.

1.5.4 GOAL: Encourage a **multimodal transportation system** that supports the needs of the Pemberton, students, military, and senior citizens.

- Continue to support the BurLink bus service in Browns Mills and Country Lakes and expansion into Presidential Lakes.
- Work with NJ Transit, Burlington County Department of Economic and Regional Planning, Cross County Connections, and the military on maintaining the 317 bus route in Downtown Browns Mills.
- Improve the bus shelters located at the Browns Mills Shopping Center and Pine Grove Shopping Center to include bike racks, benches, lights and canopies for protection from inclement weather.

1.5.5 GOAL: Improve the **quality of life and perception** of Downtown Browns Mills.

- Increase the number of police patrols, beat-patrols, bicycle patrols, and community watch groups in the redevelopment area.
- Strategically place security cameras and other crime design protection techniques on buildings and streetscape elements to provide people with an extra sense of security.
- Continue to utilize the UEZ-funded Clean Team to clean and maintain all streets, parking lots, and parks on a regular-basis to improve the aesthetics and perception in the downtown area.
- Strictly enforce existing municipal and state building codes for the maintenance and appearance of commercial and residential buildings (vacant or occupied).
- Preclude the utilization of iron bars, roller steel doors, frosted-glass, and 100 percent tinted-glass on downtown building windows and doors.
- Develop a Neighborhood Watch program to mitigate the loitering and criminal activities at the Red Roof Inn, Pine Grove Shopping Center, Browns Mills Shopping Center, and other areas in the downtown.
- Develop a new brand identity and promotion campaign for Browns Mills that represents the downtown area as a safe place to live, work and play.

1.5.6 GOAL: Implement a **comprehensive marketing plan and advertising plan** that focuses on reinventing Browns Mills as a regional destination for recreation, shopping, world-class medical treatment, and higher education.

- Create a new brand identity and town center logo for Downtown Browns Mills that represents the essence of the residents, businesses and lakes.
- Develop a marketing campaign that targets businesses and professionals in the recreational, medical, military-support and education fields.
- Promote the advantages of locating to an UEZ area and Redevelopment Area such as grant money for façade improvements, state sales tax reductions, short term tax abatements, and Payment in Lieu of Taxes (PILOT) programs.

1.5.7 GOAL: Improve **vehicular circulation and parking demands** while providing a pedestrian safe environment.

- Continue to work with the military and Burlington County on reopening Texas Avenue or a suitable alternative for civilian access through the base.
- Encourage shared-parking agreements and cross easements between downtown businesses and property owners.
- Develop a parking in-lieu fee ordinance to encourage shared-parking and raise funds for parking enhancements as the area becomes more successful.
- Repave, reorient, and expand the municipal parking lot to allow for better internal circulation and access points.

1.5.8 GOAL: Promote the **development of ecotourism and eco-adventure retail stores** and activities in Browns Mills.

- Build a multiuse path around Mirror Lake with connections to the downtown area, residential neighborhoods and the Rancocas Creek.
- Construct a boat house for canoes, kayaks, sunfish sailboats and other non motorized boats on South Lakeshore Drive near Reflection Park.
- Encourage the development of outdoor sporting goods stores in the downtown area.
- Develop a partnership with outdoorsmen organizations to bring fishing tournaments, bicycling races, triathlons etc. to Browns Mills.

1.5.9 GOAL: Encourage the utilization of **sustainable design techniques, energy efficient building materials and alternative energy resources** to reduce Pemberton's carbon footprint.

- Construct a hydroelectric generator at the mouth of Mirror Lake Dam to produce electrical energy to power the ornamental lights and streetscape elements in Browns Mills, which will reduce the Township's energy costs.
- Encourage solar panels on roof tops and solar panels awnings on buildings.
- Fast track developers' site plan applications that utilize renewable energy infrastructure that help reduce the Township's carbon footprint.
- Support the utilization of bioretention basins, rooftop gardens, community gardens, and other sustainable design techniques.

2.0 ZONING AND LAND USE

2.1 Intention and Background

The intention of these regulations is to bring the community's vision for Browns Mills to realization. The Browns Mills Downtown Revitalization and Redevelopment Study, which was amended to the Master Plan on July 8, 2010, is the foundation upon which these regulations are built. The Form-Based Regulations are designed to achieve a predictable downtown appearance as envisioned by the community. The Form-Based Code is based on building typology and street hierarchy. The regulations are composed of five basic components, *all of which are mandatory requirements as part of this redevelopment plan*:

- 1) **Regulating Plan** - establishes the basic framework for each sub-district based on level of activity, street orientation, and intensity of use such as destination retail, mixed use, residential areas, and green space areas.
- 2) **Building Typologies** - are the primary means for generating the form and disposition of buildings defining setbacks, building layout and allowable building heights.
- 3) **General Development and Architecture Standards** - provides supplemental guidance on the form and disposition of buildings, architectural massing, materials and composition, and landscaping.
- 4) **Use Standards** – standards that are meant to allow a variety of uses in each sub-district.
- 5) **Street Hierarchy Plan** - provides the guidelines for the configuration of streetscapes, on-street parking, and parking layout within the redevelopment area based on street intensity.

These regulations simplify the site layout and review process for both the applicant and Planning Board. It is essential that all of the components of the land regulations be used in concert with each other in order to implement the goals and objectives of the redevelopment plan and the Township's master plan. These regulations, once adopted by the governing body and approved by the Pinelands Commission, will be part of the land development ordinance and any variation from the components listed-above shall require a variance.

How it works...

1. Review the Regulating Plan. Locate the property of interest to determine the sub-district and which building types are permitted in that area.
2. Review the Building Typologies. Identify building placement, massing and height standards for each building typology. If the property is located on a highly visible corner as identified on the Regulating Plan, architectural focal point guidelines must be utilized (See Section 3.1.1).
3. Review the General Development and Architecture Standards. Determine recommended materials, architectural elements, lighting, and landscaping.
4. Review permitted uses for the sub-district.
5. Review the Street Hierarchy Plan. Determine streetscape requirements and parking guidelines.

The drawings, images and photographs included herein are for illustrative purposes and should not be considered the only option or are they the "preferred alternative." The purpose of the illustrations is to provide redevelopers with ideas and options to satisfy the intent of the redevelopment plan's regulating plan and site development standards.

2.2 Regulating Plan

The overall redevelopment area has been divided into six (6) sub-districts, each of which has its own neighborhood characteristics and has received individual treatment. Below are specific redevelopment objectives for each individual district:

Town Village (TV)

- Create a new pedestrian orientated shopping plaza along the eastside between Dearborn Avenue and Bank Street.
- Renovate existing buildings and support infill development where appropriate.
- Improve streetscape, sidewalks and reduce number of curb cuts.
- Reorient the municipal parking lot and improve traffic circulation within the downtown.
- Assemble land into larger parcels to accommodate the demand for professional office and medical laboratory space.

Destination Retail (DR)

- Redevelop the Browns Mills Shopping Center into an active retail destination center.
- Improve the appearance of the main “gateway” into the Township.
- Infill development and building rehabilitation where appropriate.

Noteboom Neighborhood (NN)

- Provide new residential housing options and preserve existing single family neighborhoods.
- Improve existing and proposed roads and create better circulation patterns.

Neighborhood Transition (NT)

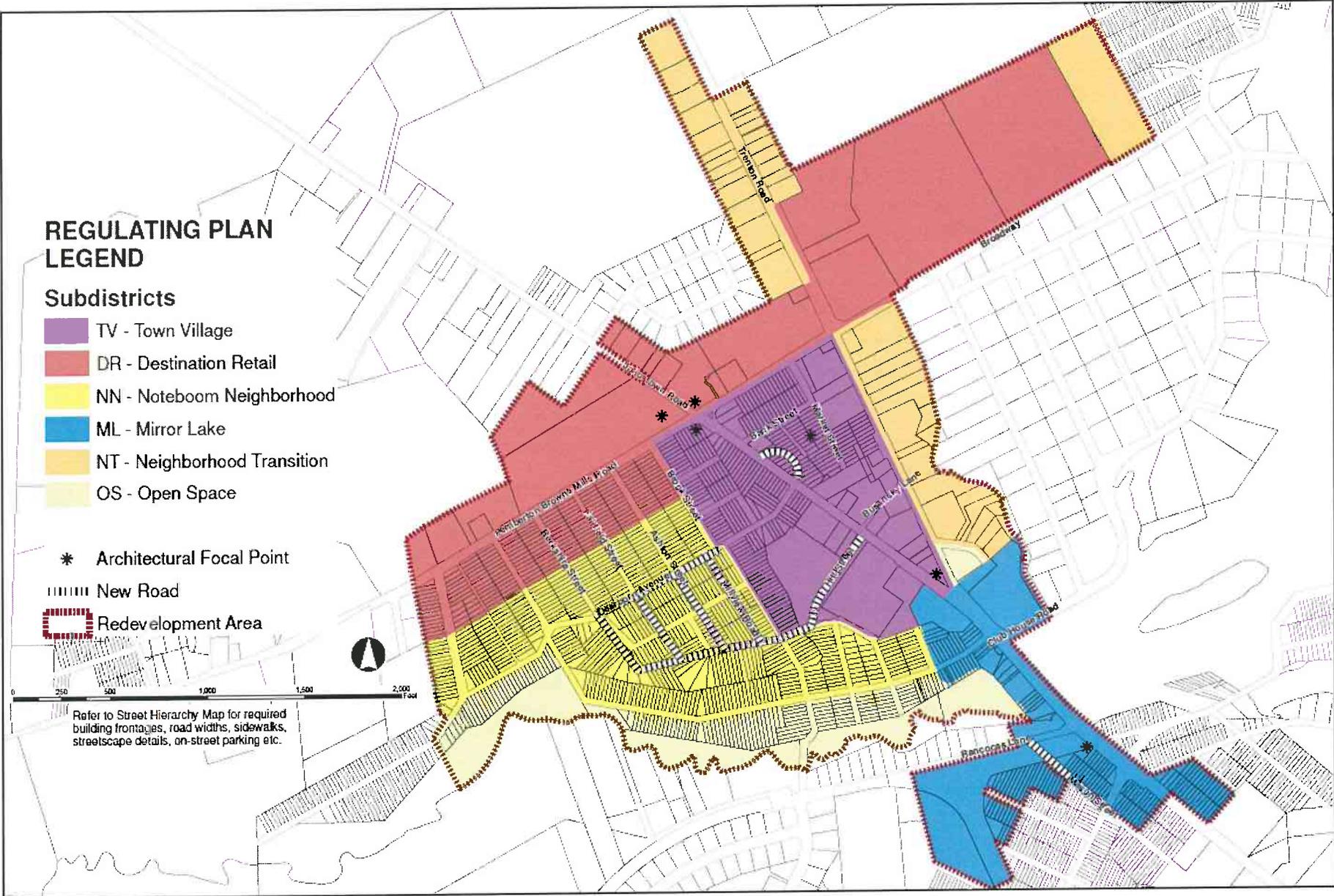
- Encourage low intense land uses along the east side of Trenton Road to preserve the well-established residential neighborhood to the east of the downtown area and redevelopment area.
- Relocate all municipal buildings and emergency management facilities to the east side of Trenton Road.

Mirror Lake (ML)

- Construct a new village style mixed use commercial center adjacent to Mirror Lake that reflects a recreational atmosphere.
- Increase the utilization of Mirror Lake by holding fishing tournaments, outdoor adventure races, sailboat races, etc.

Open Space (OS)

- Improve pedestrian access to Mirror Lake from Lakehurst Road and Reflection Park.
- Create better pedestrian linkages between Rancocas Creek and Mirror Lake.
- Continue to maintain the importance of the Veteran’s Memorial.



2.3 Building Typology and Site Standards

Eight (8) building typologies are permitted in the Browns Mills Town Center Redevelopment Area. Each building type was selected for a sub-district based on similar form, scale, intensity of uses, lot configuration, and relationship to the street. The Building Typology table below indicates the permitted building types in the corresponding sub-districts. Where a grid cell is shaded, the specific building type is permitted in that sub-district.

Table 2: Building Typologies

	TV	DR	NN	ML	NT	OS
Cottage						
Bungalow						
Colonial House						
Attached/Twin						
Townhomes						
Multiple Residential Dwelling Units						
Village Commercial						
Corridor Commercial						

Additional building types not indicated in these regulations can be considered with an application to the Planning Board for a variance. The new building typology must be consistent with the objectives of the redevelopment plan as well as support the intent of the sub-district. The new building type must meet all regulations identified in the General Development and Street Hierarchy Plan. For a new building typology to be considered the developer must prepare elevation drawings and site plans/lot standards for the desired sub-district.

2.3.1 Non-Conforming Buildings

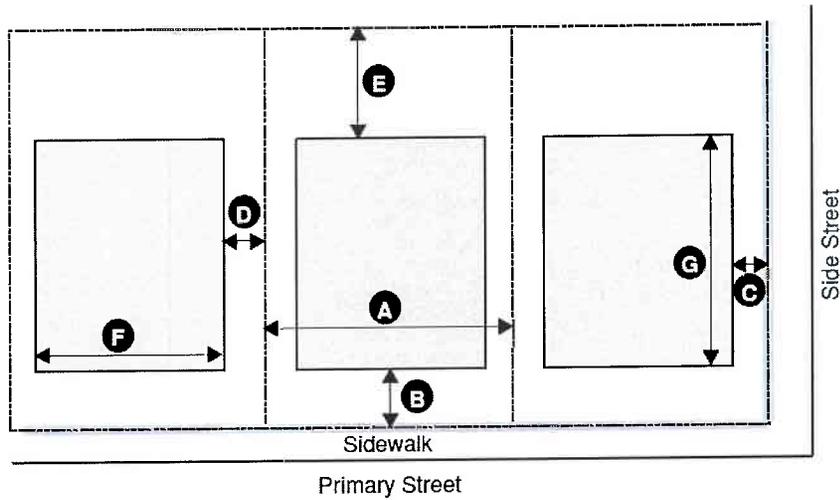
Preexisting non-conforming buildings and uses prior to the adoption of these regulations may continue to be utilized as originally constructed. Any building modification, rehabilitation, addition, or renovation must comply with these standards. Routine maintenance such as façade painting, parking lot resurfacing, roof repair, window replacement, mechanical repair, etc. for non-conforming buildings shall not be required to comply with these regulations.

2.4 Cottage

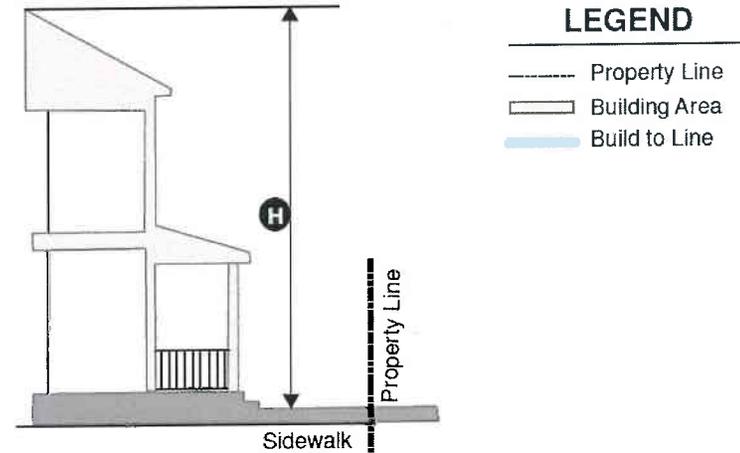
Definition: A small detached single family dwelling unit with small side and street yards.

2.4.1 Lot Configuration (Corresponding letters are identified in Section 2.4.4)

Lot layout



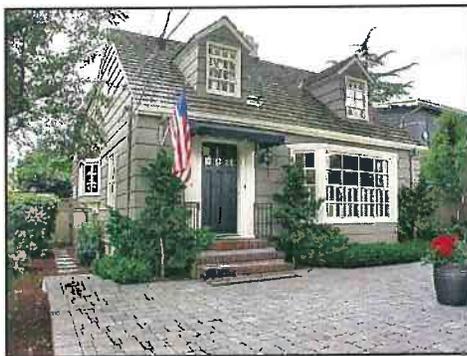
Building Height



LEGEND

- Property Line
- Building Area
- Build to Line

2.4.2 Visual Examples



2.4.3 Permitted Sub-districts

TV	DR	NN	ML	NT	OS
		X			

2.4.4 Lot and Building Standards for Cottages

	TV Not Permitted	DR Not Permitted	NN Min./Max.	ML Not Permitted	NT Not Permitted	OS Not Permitted
Lot Area			8,000 sq ft/ 12,000 sq ft			
Lot Width "A"			80'/120'			
Lot Coverage			0%/60%			
Build to Line "B"			10'/15'			
Build to Line Corner "C"			10'/12'			
Side Yard "D"			5'/no max.			
Rear Yard "E"			15'/no max.			
Primary Street build to Line "F"			60%/80%			
Side Street, Corner build to Line "G"			30%/50%			
Height "H"			20'/35'			

2.4.5 Building Form and Frontage

- a. The main entrance to the cottage shall face the primary street.
- b. Parking garages shall be no more than 25% of the front façade facing the primary street.
- c. Corner properties shall be designed to include at least three windows facing the side street.

2.4.6 Parking

- a. Driveway width and quantity of parking spaces shall comply with the New Jersey Residential Site Improvement Standards (RSIS).
- b. Parking garages are encouraged to be detached from the principal building and located in the rear or side yard.

2.4.7 Landscaping

- a. All front yards shall be landscaped with at least one Native Pinelands ornamental tree.
- b. Grass shall be planted in the front, side and rear yard.
- c. See Sections 3.3.3 and 3.3.4 for additional landscaping and buffering requirements.

2.4.8 Accessory Structures

The following accessory structures are specifically allowed in the side and rear yard, subject to compliance with all applicable standards, including but not limited to all applicable building form standards provided it conforms to the bulk requirements in Sections 3.3.5, 3.3.6 and 3.3.8:

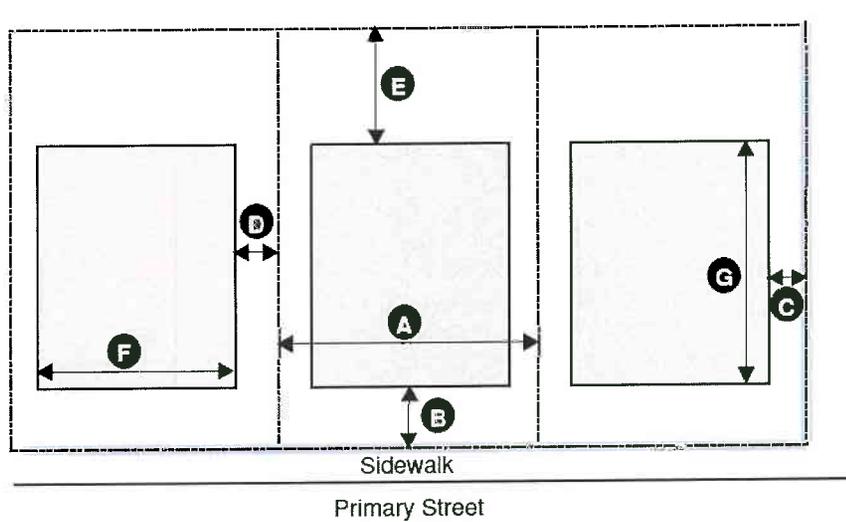
- | | |
|--|---|
| <ol style="list-style-type: none"> a. Detached Accessory Garages. b. Playhouses, Patios, Cabanas, Pool Houses, Porches, Decks, Barbecues, Outside Fireplaces, Eating Areas and Gazebos. c. Fences, Walls and Retaining Walls. | <ol style="list-style-type: none"> d. Swimming Pools, Jacuzzis, and other recreational facilities for the use of the residents. e. Garden Structures/Greenhouses. |
|--|---|

2.5 Bungalow

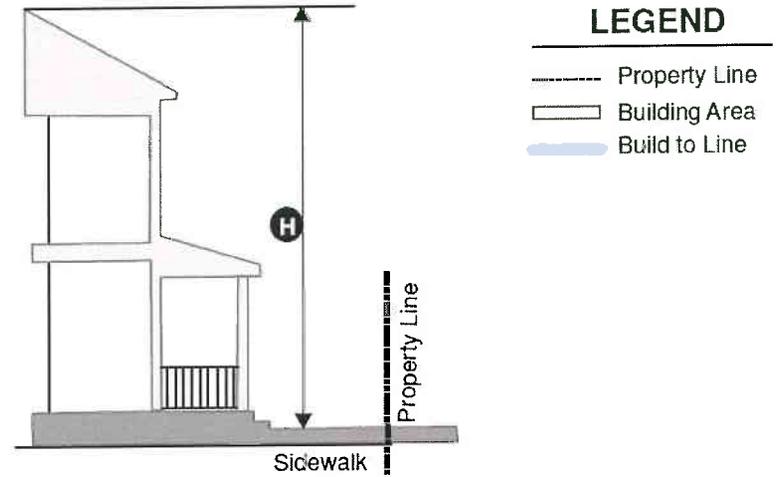
Definition: A mid-sized detached single family dwelling unit with small front and side yards.

2.5.1 Lot Configuration (Corresponding letters are identified in Section 2.5.4)

Lot layout



Building Height



2.5.2 Visual Examples



2.5.3 Permitted Sub-districts

TV	DR	NN	ML	NT	OS
		X			

2.5.4 Lot and Building Standards for Bungalows

	TV Not Permitted	DR Not Permitted	NN Min./Max.	ML Not Permitted	NT Not Permitted	OS Not Permitted
Lot Area			8,000 sq ft/ 12,000 sq ft			
Lot Width "A"			80'/120'			
Lot Coverage			0%/60%			
Build to Line "B"			10'/15'			
Build to Line Corner "C"			10'/12'			
Side Yard "D"			5'/no max.			
Rear Yard "E"			15'/no max.			
Primary Street build to Line "F"			60%/80%			
Side Street, Corner build to Line "G"			30%/50%			
Height "H"			25'/35'			

2.5.5 Building Form and Frontage

- a. The main entrance to the bungalow shall face the primary street.
- b. Parking garages shall be no more than 25% of the front façade facing the primary street.
- c. Corner properties shall be designed to include at least three windows facing the side street.

2.5.6 Parking

- a. Driveway width and quantity of parking spaces shall comply with New Jersey Residential Site Improvement Standards (RSIS).
- b. Parking garages are encouraged to be detached from the principal building and located in the rear or side yard.

2.5.7 Landscaping

- a. All front yards shall be landscaped with at least one Native Pinelands ornamental tree.
- b. Grass shall be planted in the front, side and rear yard.
- c. See Sections 3.3.3 and 3.3.4 for additional landscaping and buffering requirements.

2.5.8 Accessory Structures

The following accessory structures are specifically allowed in the side and rear yard, subject to compliance with all applicable standards, including but not limited to all applicable building form standards provided it conforms to the bulk requirements in Sections 3.3.5, 3.3.6 and 3.3.8:

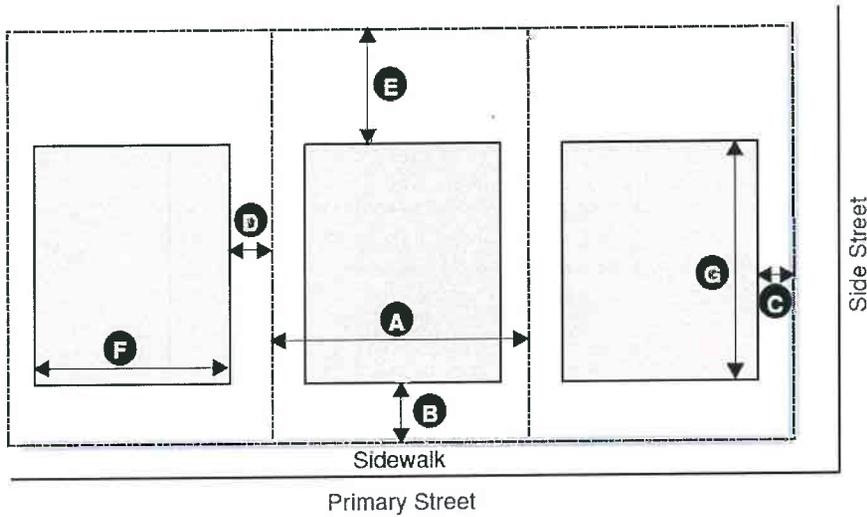
- | | |
|--|---|
| <ol style="list-style-type: none"> a. Detached Accessory Garages. b. Playhouses, Patios, Cabanas, Pool Houses, Porches, Decks, Barbecues, Outside Fireplaces, Eating Areas and Gazebos. c. Fences, Walls and Retaining Walls. | <ol style="list-style-type: none"> d. Swimming Pools, Jacuzzis, and other recreational facilities for the use of the residents. e. Garden Structures/Greenhouses. |
|--|---|

2.6 Colonial House

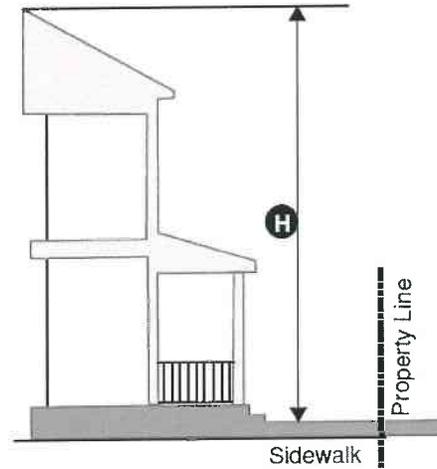
Definition: A larger detached single family dwelling unit with larger front and side yards.

2.6.1 Lot Configuration (Corresponding letters are identified in Section 2.6.4)

Lot layout



Building Height



LEGEND

- Property Line
- Building Area
- Build to Line

2.6.2 Visual Examples



2.6.3 Permitted Sub-districts

TV	DR	NN	ML	NT	OS
		X			

2.6.4 Lot and Building Standards for Colonial Houses

	TV Not Permitted	DR Not Permitted	NN Min./Max.	ML Not Permitted	NT Not Permitted	OS Not Permitted
Lot Area			10,000 sq ft/ 15,000 sq ft			
Lot Width "A"			80'/120'			
Lot Coverage			0%/60%			
Build to Line "B"			10'/15'			
Build to Line Corner "C"			10'/12'			
Side Yard "D"			5'/no max.			
Rear Yard "E"			15'/no max.			
Primary Street build to Line "F"			60%/80%			
Side Street, Corner build to Line "G"			30%/50%			
Height "H"			30'/35'			

2.6.5 Building Form and Frontage

- a. The main entrance to the colonial house shall face the primary street.
- b. Parking garages shall be no more than 25% of the front façade facing the primary street.
- c. Corner properties shall be designed to include at least three windows facing the side street.

2.6.6 Parking

- a. Driveway width and quantity of parking spaces shall comply with New Jersey Residential Site Improvement Standards (RSIS).
- b. Parking garages are encouraged to be detached from the principal building and located in the rear or side yard.

2.6.7 Landscaping

- a. All front yards shall be landscaped with at least one Native Pinelands ornamental tree.
- b. Grass shall be planted in the front, side and rear yard.
- c. See Sections 3.3.3 and 3.3.4 for additional landscaping and buffering requirements.

2.6.8 Accessory Structures

The following accessory structures are specifically allowed in the side and rear yard, subject to compliance with all applicable standards, including but not limited to all applicable building form standards provided it conforms to the bulk requirements in Sections 3.3.5, 3.3.6 and 3.3.8:

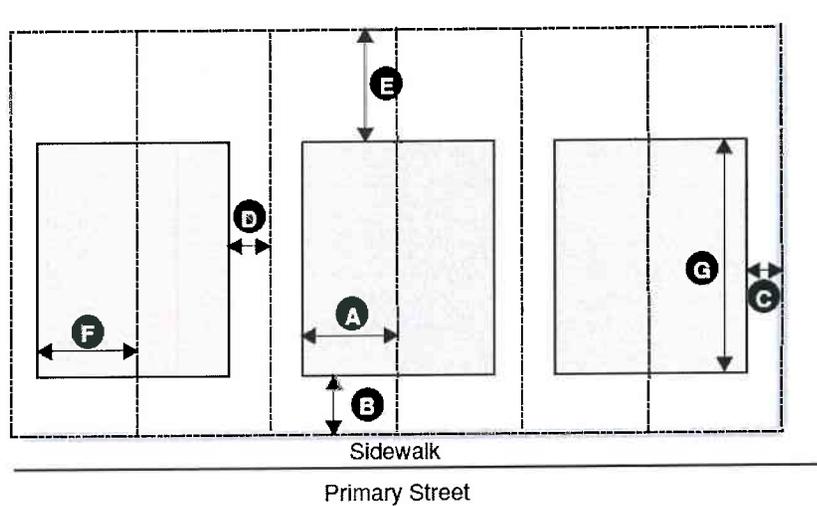
- | | |
|--|---|
| <ol style="list-style-type: none"> a. Detached Accessory Garages. b. Playhouses, Patios, Cabanas, Pool Houses, Porches, Decks, Barbecues, Outside Fireplaces, Eating Areas and Gazebos. c. Fences, Walls and Retaining Walls. | <ol style="list-style-type: none"> d. Swimming Pools, Jacuzzis, and other recreational facilities for the use of the residents. e. Garden Structures/Greenhouses. |
|--|---|

2.7 Attached/Twin Home/Two Family

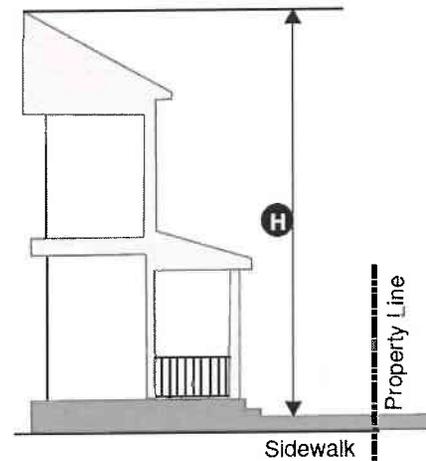
Definition: A house structure, massed together to look like a single structure that shares a common wall. Contains no more than two residential dwelling units.

2.7.1 Lot Configuration (Corresponding letters are identified in Section 2.7.4)

Lot layout



Building Height



LEGEND

- Property Line
- ▭ Building Area
- Build to Line

2.7.2 Visual Examples



2.7.3 Permitted Sub-districts

TV	DR	NN	ML	NT	OS
		X			

2.7.4 Lot and Building Standards Attached/Twin Home/Two Family

	TV Min./Max.	DR Not Permitted	NN Not Permitted	ML Not Permitted	NT Not Permitted	OS Not Permitted
Lot Area			4,000 sq ft/ 6,000 sq ft			
Lot Width "A"			40'/60'			
Lot Coverage			0%/60%			
Build to Line "B"			10'/15'			
Build to Line Corner "C"			10'/12'			
Side Yard "D"			5'/no max.			
Rear Yard "E"			15'/no max.			
Primary Street build to Line "F"			60%/80%			
Side Street, Corner build to Line "G"			30%/50%			
Height "H"			25'/35'			

2.7.5 Building Form and Frontage

- a. Each unit must have main entrance on the ground floor that faces the primary street.
- b. Parking garages shall be no more than 25% of the front façade facing the primary street.
- c. Corner properties shall be designed to include at least three windows facing the side street.

2.7.6 Parking

- a. Driveway width and quantity of parking spaces shall comply with New Jersey Residential Site Improvement Standards (RSIS).
- b. Parking garages are encouraged to be detached from the principal building and located in the rear or side yard.

2.7.7 Landscaping

- a. All front yards shall be landscaped with at least one Native Pinelands ornamental tree.
- b. Grass shall be planted in the front, side and rear yard.
- c. See Sections 3.3.3 and 3.3.4 for additional landscaping and buffering requirements.

2.7.8 Accessory Structures

The following accessory structures are specifically allowed in the side and rear yard, subject to compliance with all applicable standards, including but not limited to all applicable building form standards provided it conforms to the bulk requirements in Sections 3.3.5, 3.3.6 and 3.3.8:

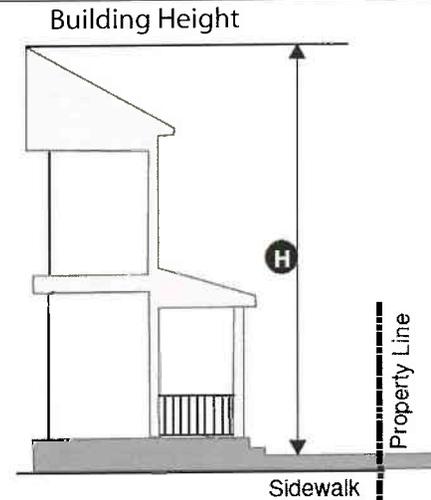
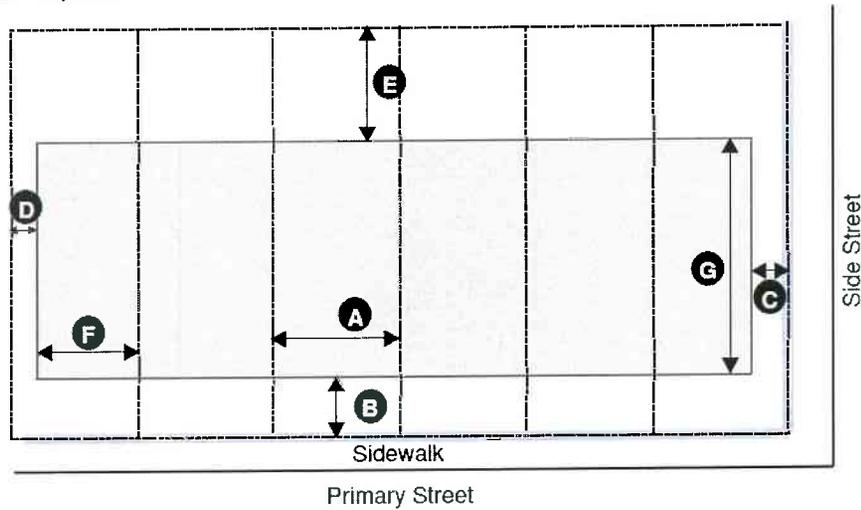
- a. Detached Accessory Garages.
- b. Playhouses, Patios, Cabanas, Pool Houses, Porches, Decks, Barbecues, Outside Fireplaces, Eating Areas and Gazebos.
- c. Fences, Walls and Retaining Walls.
- d. Swimming Pools, Jacuzzis, and other recreational facilities for the use of the residents.
- e. Garden Structures/Greenhouses.

2.8 Townhome

Definition: A residential dwelling unit with common walls on either side with no units above or below it.

2.8.1 Lot Configuration (Corresponding letters are identified in Section 2.8.4)

Lot layout



LEGEND

- Property Line
- ▭ Building Area
- ▭ Build to Line

2.8.2 Visual Examples



2.8.3 Permitted Sub-districts

TV	DR	NN	ML	NT	OS
		X			

2.8.4 Lot and Building Standards for Townhomes

	TV Not Permitted	DR Not Permitted	NN Min./Max.	ML Not Permitted	NT Not Permitted	OS Not Permitted
Lot Area			900 sq ft/ 3,000 sq ft			
Lot Width "A"			30'/50'			
Lot Coverage			0%/80%			
Build to Line "B"			10'/15'			
Build to Line Corner "C"			10'/12'			
Side Yard "D"			0' if attached 5'/no max.			
Rear Yard "E"			15'/no max.			
Primary Street build to Line "F"			80%/100%			
Side Street, Corner build to Line "G"			30%/50%			
Height "H"			25'/35'			

2.8.5 Building Form and Frontage

- a. All townhome units shall have a ground floor entrance that faces the primary street.
- b. All townhomes shall be alley loaded with the parking garage located in the rear.
- c. Corner properties shall be designed to include at least three windows facing the side street.
- d. The maximum length of continuous building frontage on a primary street shall be 250'.

2.8.6 Parking

- a. Driveway width and quantity of parking spaces shall comply with New Jersey Residential Site Improvement Standards (RSIS).

2.8.7 Landscaping

All front yards shall be landscaped with at least one Native Pinelands ornamental tree.

- a. Grass shall be planted in the front, side and rear yard.
- b. See Sections 3.3.3 and 3.3.4 for additional landscaping and buffering requirements.

2.8.8 Accessory Structures

The following accessory structures are specifically allowed in the side and rear yard, subject to compliance with all applicable standards, including but not limited to all applicable building form standards provided it conforms to the bulk requirements in Sections 3.3.5, 3.3.6 and 3.3.8:

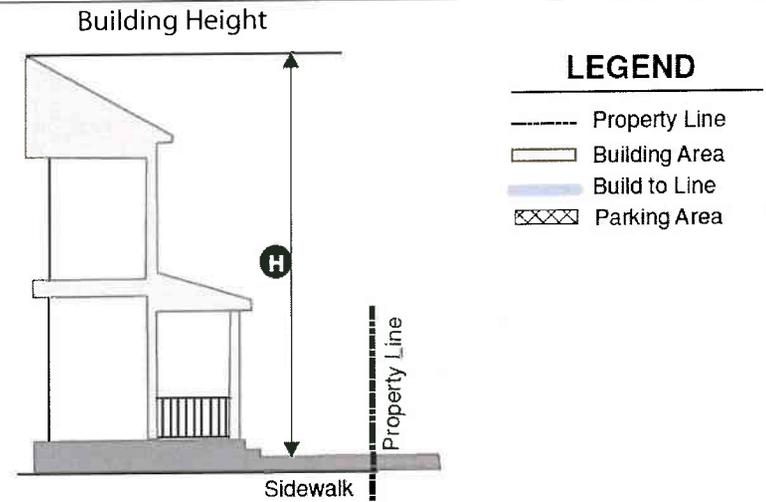
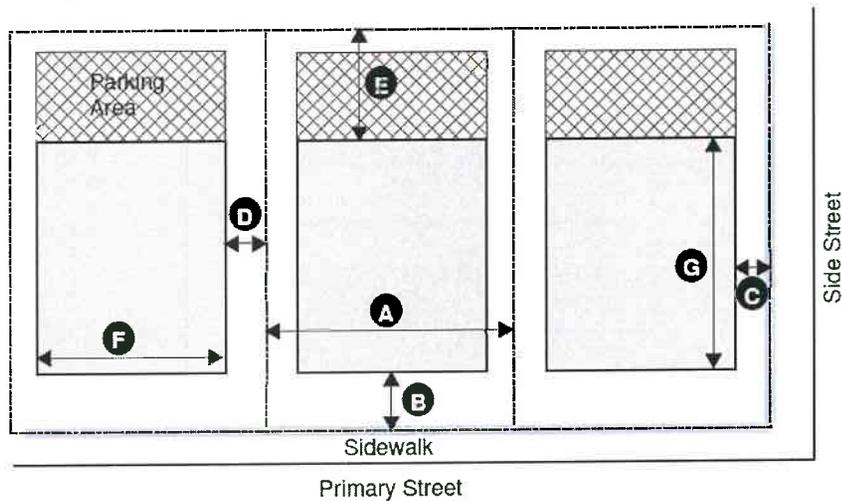
- a. Detached Accessory Garages.
- b. Playhouses, Patios, Cabanas, Pool Houses, Porches, Decks, Barbecues, Outside Fireplaces, Eating Areas and Gazebos.
- c. Fences, Walls and Retaining Walls.
- d. Jacuzzis and other recreational facilities for the use of the residents.

2.9 Multiple Residential Units

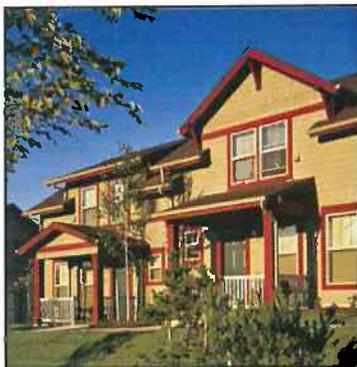
Definition: A residential dwelling structure designed to resemble a large single family or boarding home found in Browns Mills in the early 1900s but contains multiple units above and beside each other. Contains no more than 4 units.

2.9.1 Lot Configuration (Corresponding letters are identified in Section 2.9.4)

Lot layout



2.9.2 Visual Examples



2.9.3 Permitted Sub-districts

TV	DR	NN	ML	NT	OS
		X		X	

2.9.4 Lot and Building Standards for Multiple Residential Units

	TV Not Permitted	DR Not Permitted	NN Min./Max.	ML Not Permitted	NT Min./Max.	OS Not Permitted
Lot Area			10,000 sq ft/ 18,000 sq ft		10,000 sq ft/ 18,000 sq ft	
Lot Width "A"			80'/180'		80'/180'	
Lot Coverage			0%/60%		0%/60%	
Build to Line "B"			10'/15'		10'/15'	
Build to Line Corner "C"			10'/12'		10'/12'	
Side Yard "D"			5'/no max.		5'/no max.	
Rear Yard "E"			15'/no max.		15'/no max.	
Primary Street build to Line "F"			60%/80%		60%/80%	
Side Street, Corner build to Line "G"			30%/50%		30%/50%	
Height "H"			25'/35'		25'/35'	

2.9.5 Building Form and Frontage

- a. The main entrance to the building shall face the primary street.
- b. Corner properties shall be designed to include at least three windows facing the secondary street.
- c. All multiple dwelling units shall contain a front porch as described in Section 3.2.3.

2.9.6 Parking

- a. Driveway width and quantity of parking spaces shall comply with New Jersey Residential Site Improvement Standards (RSIS).
- b. All parking shall be located in the rear of building. All parking lots shall comply with landscape standards in Sections 3.3.3 and 5.6.6.

2.9.7 Landscaping

- a. All front yards shall be landscaped with at least one Native Pinelands ornamental tree.
- b. Grass shall be planted in the front, side and rear yard.
- c. See Sections 3.3.3 and 3.3.4 for additional landscaping and buffering requirements.

2.9.8 Accessory Structures

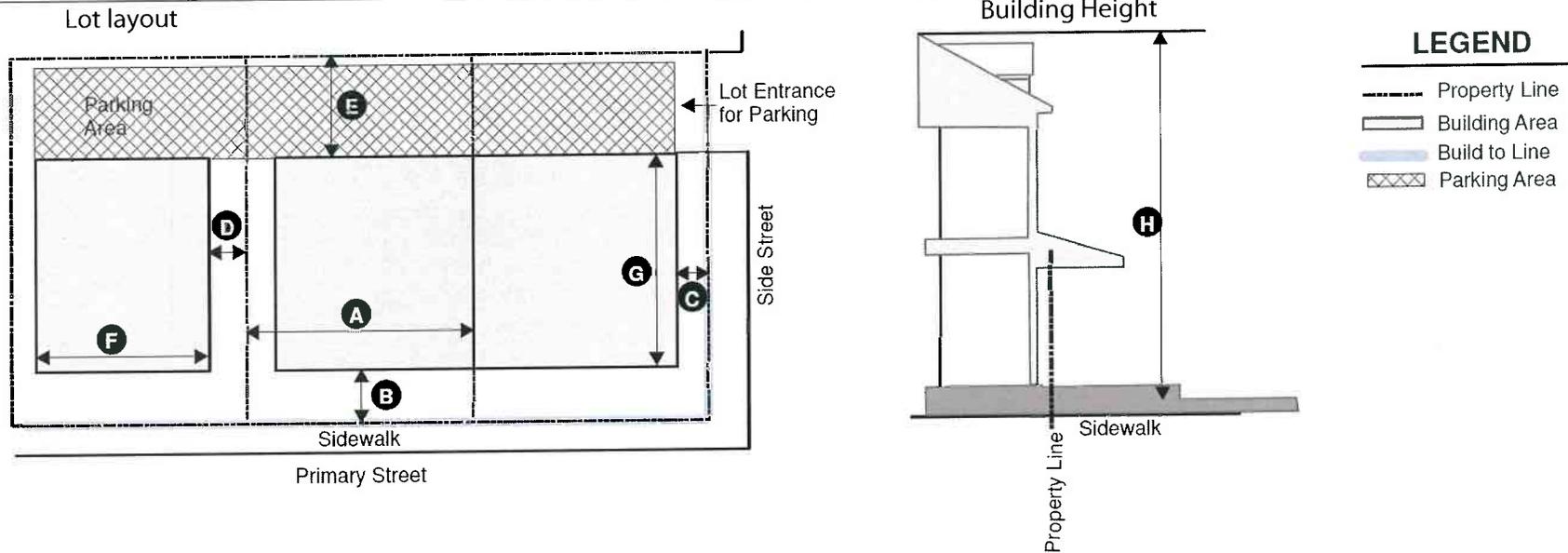
The following accessory structures are specifically allowed in the side and rear yard, subject to compliance with all applicable standards, including but not limited to all applicable building form standards provided if conforms to the bulk requirements in Sections 3.3.5 and 3.3.6:

- a. Detached Accessory Garages.
- b. Playhouses, Patios, Cabanas, Pool Houses, Porches, Decks, Barbecues, Outside Fireplaces, Eating Areas and Gazebos.
- c. Fences, Walls and Retaining Walls.
- d. Garden Structures/Greenhouses.

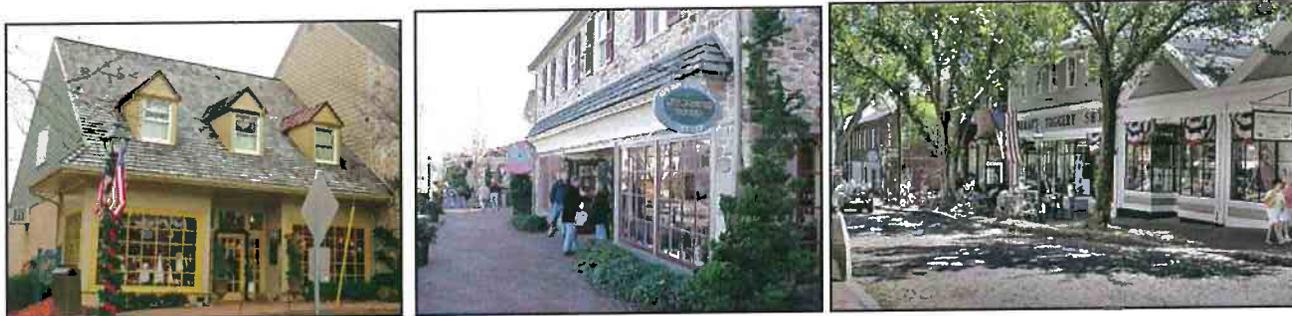
2.10 Village Commercial (Corresponding letters are identified in Section 2.10.4)

Definition: A small scale structure designed to accommodate one or two retail users with small side and street yard with the option for a second or third floor dwelling units.

2.10.1 Lot Configuration



2.10.2 Visual Examples



2.10.3 Permitted Sub-districts

TV	DR	NN	ML	NT	OS
X			X	X	

2.10.4 Lot and Building Standards for Village Commercial

	TV Min./Max.	DR Not Permitted	NN Not Permitted	ML Min./Max.	NT Min./Max.	OS Not Permitted
Lot Area	5,000 sq ft/ no max.			5,000 sq ft/ no max.	5,000 sq ft/ no max.	
Lot Width "A"	50'/150'			50'/150'	50'/150'	
Lot Coverage	no min/95%			no min/95%	no min/95%	
Primary Street build to Line "B"	0'/5'			0'/5'	0'/5'	
Side Street, Corner build to Line "C"	0'/5'			0'/5'	0'/5'	
Side Yard "D"	0' if attached/ 12'			0' if attached/ 12'	0' if attached/ 12'	
Rear Yard "E"	10'/no max			10'/no max	10'/no max	
Building Width abutting build to line "F"	70%/95%			70%/95%	70%/95%	
Building Width abutting build to line, Corner Lot "G"	50%/75%			50%/75%	50%/75%	
Height "H"	30'/35'			30'/35'	30'/35'	

2.10.5 Building Form and Frontage

- The main entrance to the building shall face the primary street.
- Corner buildings shall be designed with a continuous façade facing the primary and side street. Unpainted concrete block and blank walls are prohibited.
- See Section 3.1 et seq. for additional Building Form and Frontage Standards.
- Residential uses are prohibited on the 1st floor. Residential uses are permitted on the 2nd and 3rd floors.

2.10.6 Parking

- All parking shall be located in the rear yard. Parking in the front yard is prohibited.
- Parking Requirement.
 - Non Residential: Maximum of 1 space per 500 sq ft.
 - Residential: Maximum of 1 space per unit plus 0.5 spaces per additional bedroom.

c. At a minimum, half the requirement shall be located onsite. 50% of parking requirement can be satisfied utilizing the following options:

- Shared parking/cross easement arrangement with adjacent private landowners or with the Township.
- Available on-street parking within a quarter mile (1,320 ft) within the front entrance of the building.
- Unless otherwise noted, all other parking requirements identified in Section 5.6.6 shall be met.

2.10.7 Landscaping

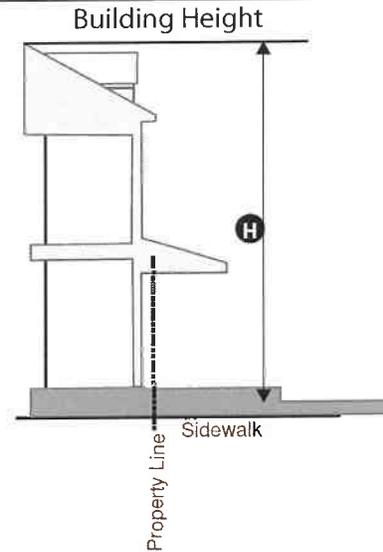
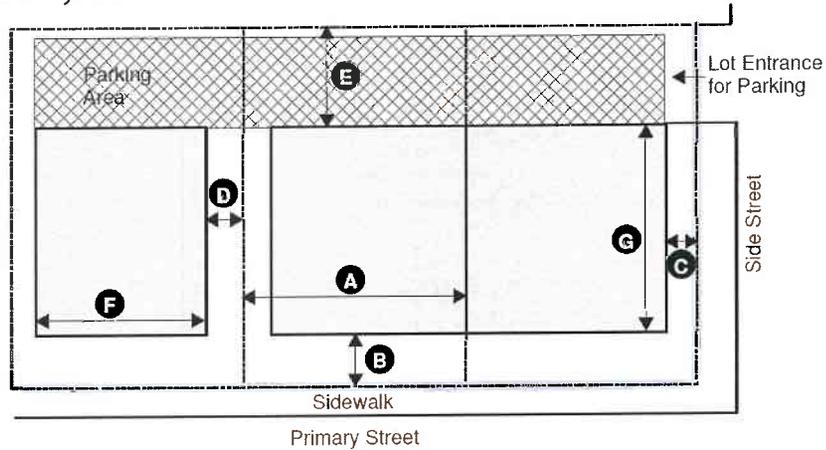
- All mechanical equipment and utilities in the side and rear yard shall be landscaped and screened from pedestrians.
- See Sections 3.3.3 and 3.3.4 for additional landscaping and buffering requirements.

2.11 Corridor Commercial

Definition: A medium scale structure designed to accommodate a mix of uses. Second and third floors can be used for residential dwelling units. Building lengths are short and may not extend an entire block.

2.11.1 Lot Configuration (Corresponding letters are identified in Section 2.11.4)

Lot layout



LEGEND

- Property Line
- ▭ Building Area
- ▭ Build to Line
- ▨ Parking Area

2.11.2 Visual Examples



2.11.3 Permitted Sub-districts

TV	DR	NN	ML	NT	OS
	X				

2.11.4 Lot and Building Standards for Corridor Commercial

	TV Not Permitted	DR Min./Max.	NN Not Permitted	ML Not Permitted	NT Not Permitted	OS Not Permitted
Lot Area		10,000 sq ft/ no max				
Lot Width "A"		200/ no max				
Lot Coverage		no min/ 95%				
Primary Build to Line "B"		10'/65'				
Build to Line Corner "C"		10'/50'				
Side Yard "D"		0' if attached/ 20'				
Rear Yard "E"		15'/no max				
Building Width abutting build to line "F"		80%/100%				
Building Width abutting build to line, Corner Lot "G"		80%/100%				
Height "H"		30'/35'				

2.11.5 Building Form and Frontage

- a. The main entrance to the building shall face the primary street.
- b. Corner buildings shall be designed with a continuous façade facing the primary and side street. Unpainted concrete block and blank walls are prohibited.
- c. Residential uses are prohibited on the 1st floor. Residential uses are permitted on the 2nd and 3rd floors.

2.11.6 Parking

- a. All parking shall be located in the rear and side yard. See Section 5.6.6 for parking guidelines along Pemberton Browns Mills Road.
- b. Parking Requirement.
 - Non Residential: Maximum of 1 space per 500 sq ft.
 - Residential: Maximum of 1 space per unit plus 0.5 spaces per additional bedroom.

- c. At a minimum, half the requirement shall be located onsite. 50% of parking requirement can be satisfied utilizing the following options:

- Shared parking/cross easement arrangement with adjacent private landowners or with the Township.
- Available on-street parking within a quarter mile (1,320 ft) within the front entrance of the building.
- Unless otherwise noted, all other parking requirements identified in Section 5.6.6 shall be met.

2.11.7 Landscaping

- a. All mechanical equipment and utilities in the side and rear yard shall be landscaped.
- b. See Sections 3.3.3 and 3.3.4 for additional landscaping and buffering requirements.

3.0 GENERAL DEVELOPMENT AND ARCHITECTURAL STANDARDS

Purpose and Intent: The purpose of these standards is to provide guidance to the governing body, Planning Board, Zoning Board, and developers on how the community wants the downtown to appear, both physically and socially. The architectural standards promote a pedestrian-oriented environment with mixed use buildings, quality architecture design and materials, and enforces environmental stewardship. The Browns Mills Town Center Redevelopment Plan contains illustrative examples of general development and architectural standards that regulate how a building relates to the street hierarchy plan, adjacent structures, and building entrances. The architectural design of buildings and their ancillary uses shall promote the Goals and Objectives established within this Redevelopment Plan. Materials, colors, and quality of workmanship shall be harmonious with the overall desired appearance of the area and reflect the luxurious boarding houses and restaurants found in Browns Mills in the early 1900s. Building structures shall recognize the environmental characteristics of Mirror Lake and the Rancocas Creek and incorporate energy efficient characteristics. Recycled materials and LEED AP certified buildings are highly encouraged.

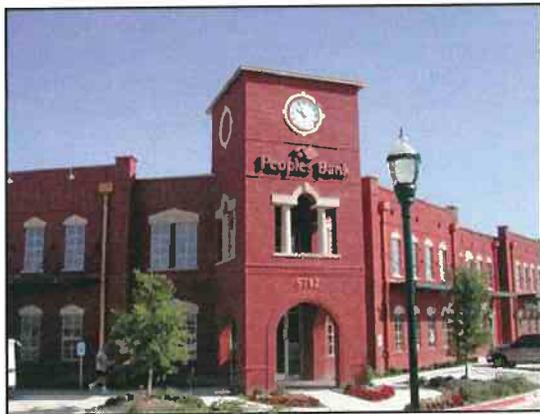
The General Development and Architectural Standards are divided into the following areas:

1. **Building Elements:** Building Orientation and Massing, Façade and Materials, Roofs, and Lighting.
2. **Architectural Elements:** Each building within the redevelopment area must incorporate at least three of the following architectural elements: Awnings, Balconies, Front Porches, Bay Windows, and Colonnades/Arcades in the TV, ML, NT and DR sub-districts. The reviewing board shall determine conformance or alternative elements that are consistent with the goals and objectives of the redevelopment plan.
3. **Site Elements:** Signs, Landscaping, Buffering/Screens, Trash Enclosures, Fences and Garden Walls, Placement of Utilities, Accessory Uses, and Detached Garages.

3.1 Building Elements

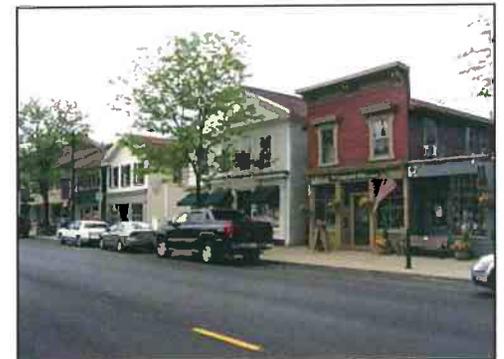
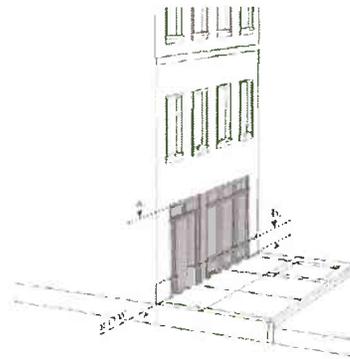
3.1.1 Architectural Focal Points

The Regulation Plan identifies the location of buildings that require unique architectural elements that create focal points at prominent street intersections, terminal vistas and gateways into the redevelopment area. If a building is located at one of these designated sites, the building shall emphasize the corner with a detailed corner entrance such as increasing the height, adding architectural projections, articulating the frontage with an arcade or similar elements. Architectural focal points shall be permitted to increase their height by 15' without the need for a variance.



3.1.2 Building Orientation and Massing

- Buildings on Juliustown Road, Trenton Road and Pemberton Browns Mills Road are required to have, at a minimum, two stories.
- All buildings shall be oriented towards the street and sidewalk. Commercial and retail centers entrances shall be located on the building frontage. Corner buildings shall have two entrances, one for each roadway that it fronts.
- Long monotonous building frontage, façade design and color are discouraged. At a minimum, every 30 feet of lineal façade shall include a vertical element, change in façade material or color variations to create a differential in building appearance.
- Blank walls facing parking lots, alleys, and service entrances are encouraged to have decorative and community-oriented murals.
- Buildings along Juliustown Road, Trenton Road and Pemberton Browns Mills Road shall have large window displays and well designed entrances.
- Commercial storefront shall use the following standards:
 - Minimum Height – 9' (area identified as "a" in conceptual sketch below).
 - Maximum Height – 18'
 - Minimum Watertable/Bulkhead – 24" (area identified as "b" in conceptual sketch below).



3.1.3 Façade and Materials

- a. Building walls shall be finished in natural stone, brick, cast stone, wood shingle, split log, stucco or Hardiplank clapboard.
- b. Stucco shall be cement, smooth sand finish, and may be painted. Full size samples of stucco finishes must be submitted to the Planning Board prior to an applicant receiving preliminary site plan approval.
- c. Hardiplank shall be in the pattern of clapboard, drop-siding, or board-batten.
- d. Faux windows with different masonry elements are encouraged on the side elevation of buildings.
- e. All building materials and building colors shall be approved by the Planning Board.



3.1.4 Roofs

- a. All flat roofs or buildings with less than a pitch of 4:12 shall have a decorative parapet. The parapet must be at a minimum 42" and similar to the building architectural, style, color, and material. Parapets may exceed the maximum building height by 10 feet.
- b. All mechanical equipment on a flat roof shall be screened with a decorative parapet. No mechanical equipment shall be located on a pitched roof.
- c. Pitched roofs shall have a minimum pitch of 5:12 and a maximum pitch of 12:12.
- d. Plumbing and venting equipment on pitched roofs shall be precluded. If an alternative design cannot be produced, vents and plumbing equipment on a pitched roof shall be painted a similar color of the roof shingles.
- e. Dormers and project cornices are encouraged provided they emphasize the first floor as the primary use.
- f. Permitted pitched roof shingles include slate, synthetic slate, architecture grade asphalt, wood, and similar type of shingles.



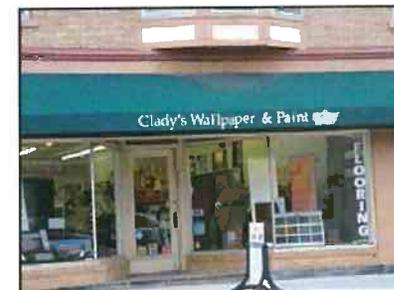
3.1.5 Windows

- a. In order to provide clear views of merchandise in stores and to provide natural surveillance of exterior street spaces, the ground/first floor along the building frontage shall have transparent storefront windows covering no less than 50% of the wall area.
- b. Storefronts facing the Juliustown Plaza, Juliustown Road, Mirror Lake, Trenton Road, Lakehurst Road and parks shall remain unshuttered at night and shall use transparent glazing material, and shall provide view of interior spaces lit from within.
- c. Frosted and opaque glass is prohibited.
- d. Rectangular window openings facing streets shall be oriented vertically.
- e. Permitted window configurations include:
 - Rectangular
 - Square
 - Round (18" maximum outer diameter)
 - Semi-circular
 - Octagonal
 - Casement
 - Single- and Double-Hung
 - Industrial
 - Fixed Frame (36 square feet maximum)

3.2 Architectural Elements

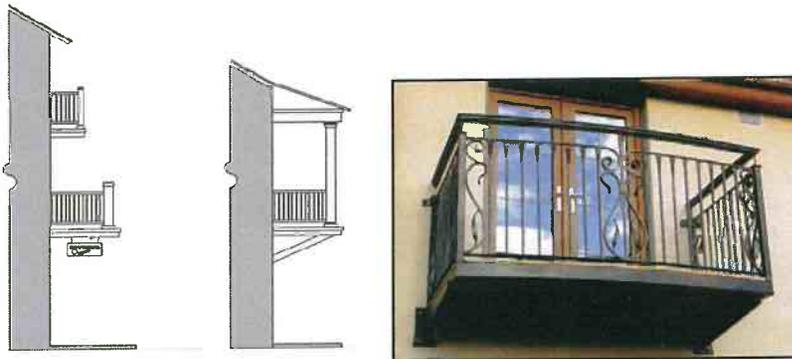
3.2.1 Awnings

- a. Awnings are recommended above commercial and retail buildings. Awnings shall have a metal structure covered with fabric.
- b. Awnings can include logos, business name, property location (numerical address), and other lettering that identifies the type of business such as café, bistro, restaurant, dry cleaner, florist etc. Lettering and logo shall not count towards the development's signage calculations.
- c. No mechanical or electrical devices shall be allowed on the canvas including lights. Awnings shall be backlit from exterior architectural lights such as goose neck and overhead lights.
- d. Awnings shall be only as wide as the storefront window of the building façade.
- e. Awnings shall conform to following standards:
 - Minimum Depth – 2'
 - Maximum Depth – 6'
 - Minimum Height Clearance – 8'



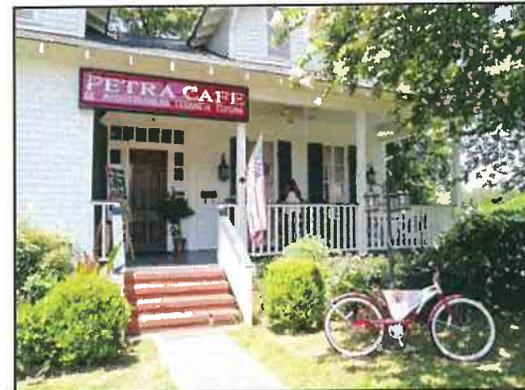
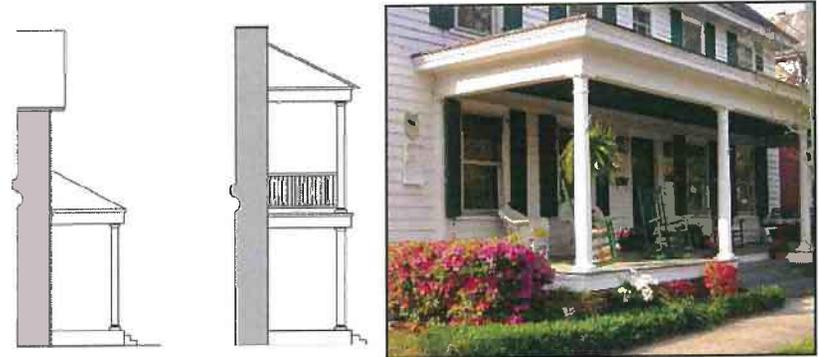
3.2.2 Balconies

- a. 2nd and 3rd balconies shall occur forward of the build to line and may encroach with the right way, but shall not extend past the curb line.
- b. On corners, balconies may wrap around the side of the building facing the primary and side street.
- c. Bulk Requirements:
 - 4' in depth minimum
 - 10' clear from side/street level



3.2.3 Front Porches

- a. Front porches may have multi-story verandas and /or balconies above.
- b. Front porches may be forward of the build to line but shall not extend into the right-of-way.
- c. Bulk Requirements:
 - 8' depth minimum from build to line for porches.
 - No more than 75 percent of the front facade of the build shall be screened by materials other than window glass.



3.2.4 Bay Windows

- a. Bay windows are permitted and may occur forward of the build to line.
- b. Bay windows projecting from the second-floor or higher may encroach within the right-of-way.
- c. Sidewalks shall have clear access for pedestrians.
- d. Bay windows shall have fenestration on both front and side surfaces.
- e. Bulk Requirements:
 - 6' depth maximum
 - 8' length maximum



3.2.5 Colonnades/Arcades

- a. Open multi-story verandas, awnings, balconies, and enclosed useable space shall be permitted above the colonnade.
- b. Colonnades shall occur forward of the build-to line and may encroach within the right-of-way, but shall not extend past the curb line.
- c. On corners, colonnades may wrap around the side of the building facing the side street.
- d. Bulk requirements:
 - 8' depth minimum from build to line.
 - 10' clear minimum from street/sidewalk.



3.3 Site Elements

3.3.1 Signs

- a. Signs shall reflect the architectural style of the building and its use. Designs, materials, sizes, logos and colors shall complement and enhance the building style and use of the building for which it advertises. Woodcarving signs are encouraged.
- b. Façade signs, blade signs, and lettering on windows shall be permitted.
- c. Neon signs are discouraged. Exceptional neon signs that are consistent with the character of the community would be considered.
- d. Individual backlit characters are permitted and encouraged.
- e. A wall sign shall not exceed 40 square feet for each tenant. Window lettering for the second and third floor is permitted provided it is less than 30 percent of the total window area. Window lettering on the first floor is permitted in lieu of a wall sign.
- f. Blade signs shall be allowed to project 3 feet from the building with a maximum size of 36 square feet.



3.3.2 Lighting

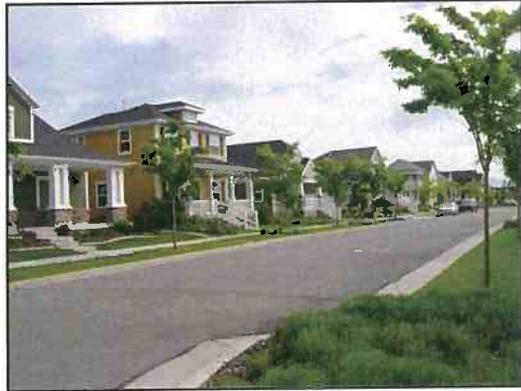
- a. New area lighting fixtures shall be of the cutoff type to prevent light from being emitted above a horizontal line relative to the point of light source. Exceptions may be made for uplit trees and architectural lighting.
- b. All on-site and building-mounted lighting fixture design shall be architecturally compatible with the building design.

- c. Commercial buildings and landscaping can be illuminated indirectly by concealing light features within buildings and landscaping to highlight attractive features and avoid intrusion into neighboring properties.
- d. Color and finish of lighting metalwork shall match that of other site furnishings, and/or of the building's metalwork or trim work.
- e. Color of lighting source types in pedestrian-intensive areas shall be warm white, energy efficient source types such as metal halide, induction lighting, compact fluorescent, and light emitting diode (LED) are strongly encouraged.
- f. New fixtures shall not cause glare or transmit it to upper stories of buildings. House-side shields and internal reflector caps shall be used to block light from illuminating residential windows.
- g. Building facade uplighting, roof "wash" lighting, and landscape uplighting shall be operated on timers that turn off illumination entirely after 2 a.m. nightly. Adjacent to single-family homes, a combination of lower mounting height and luminaire shields shall be used to protect residences from spill-light and glare.
- h. Bulk Requirements:
 - For building-mounted lights, maximum mounting height shall be approximately 12 feet above finished grade.
 - For pole-mounted lighting at walkways and entry areas, a pedestrian-height fixture eight to 12 feet in height from grade to light source shall be used.



3.3.3 Landscaping

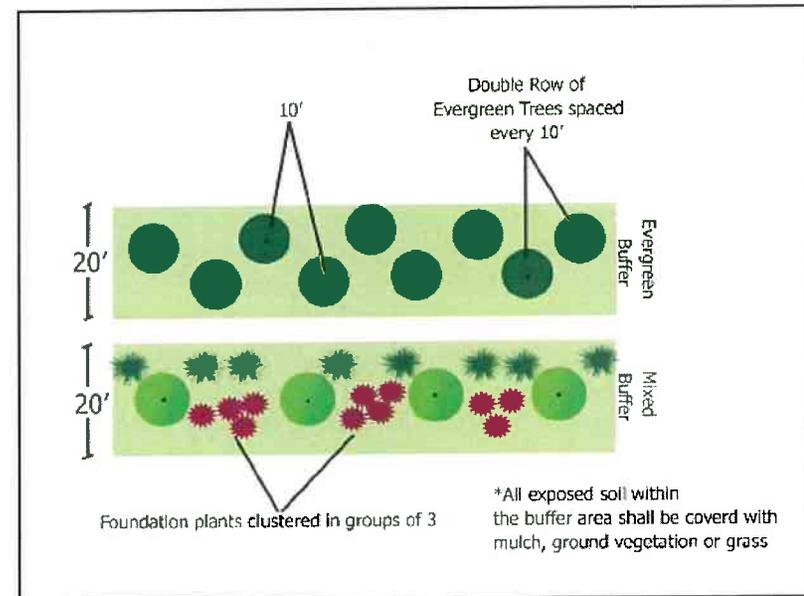
- Foundation plants and shrubs shall be utilized to screen utilities, trash enclosures and other unsightly building structure elements such as mechanical and HVAC equipment.
- Planter boxes are encouraged on the sidewalk between street trees and on bump-outs provided they do not interfere with pedestrian and vehicles view sheds and vehicular sight triangles.
- Any plant material that dies shall be replaced immediately with a same or similar species.
- A drip irrigation system shall be provided in high pedestrian-traffic areas and landscape buffers.



3.3.4 Buffers/Screening

- Rear and side yards buffers, measuring 20 feet in width, shall be required between the following districts:
 - NN and TV
 - NN and DR
 - NN and ML
 - DR and adjacent residential zoning districts and uses not within the redevelopment area.
 - NT and adjacent residential zoning districts and uses not within the redevelopment area.

- Buffers shall contain a mixture of shade trees, evergreen trees and shrubs, ground covers, grasses and foundation plants. Pinelands species shall be utilized.
- A ratio of 10:1 shall be utilized. Meaning, for every ten lineal feet (10') of buffer area, one deciduous or evergreen tree and three shrubs shall be planted. The quantity of trees can be reduced by 40 percent if the applicant provides a clustering mix of foundation plants, ground covers, and grasses that will provide 80 percent opacity after five years.
- Existing buffers that are cleared during construction or site improvements shall be replaced at a 1:1 ratio. For every one healthy tree removed more than 5 inches (5") in diameter at breast height, one deciduous or evergreen tree shall be planted.
- Shrubs and foundation plants shall be clustered (no less than three species) between trees to provide adequate screening.
- Mechanical equipment, HVAC apparatus and trash enclosures shall be screened with shrubs spaced 4' on-center.



3.3.5 Accessory Structures

Accessory structures include pools, decks, green houses, pools occupation use, and storage space and similar type uses.

- a. Accessory Bulk Requirements.
 - Side Yard Setback – 4’
 - Rear Yard Setback – 4’
 - Height for a Storage Structure – Min. 10’ /Max. 15’
 - Max. Lot Coverage of an accessory structure– 500 sq. ft.
- b. All mechanical equipment shall be screen appropriated and comply with Sections 3.3.3 and 3.3.4.

3.3.6 Detached Garages

Detached garages shall be consistent in architectural appearance with the permitted building type permitted in the sub-district.

- a. Detached Garages Bulk Requirements.
 - Side Yard Setback – 4’
 - Rear Yard Setback – 4’
 - Height – Min. 10’ /Max. 15’
 - Max. Building Coverage of a detached garage – 600 sq. ft.
- b. All mechanical equipment shall be screen appropriated and comply with Sections 3.3.3 and 3.3.4.

3.3.7 Trash Enclosures and Loading Areas for Buildings Located in TV, DR, NT and ML sub-districts

- a. All trash enclosures and loading areas are to be located in the rear of the building. Trash Enclosure Areas and Loading Areas are prohibited in the side and front yards.
- b. All trash enclosures and loading areas shall be screened with a mixture of fencing and landscaping (See Sections 3.3.3 and 3.3.8).
- c. The fence materials shall match the color and material of the principal structure.
- d. The height of a trash enclosure fence shall be at a minimal of 6’ but shall not exceed 8’ feet in height.
- e. All loading areas shall be located in the rear of the building are precluded in the side and/or front yard setback. The

dimension of the loading area shall be long enough to accommodate tractor trailers.

3.3.8 Fences and Garden Walls

- a. The minimal height for a fence shall be 4’ but shall not exceed 6’, except for trash enclosures where the height cannot exceed 8’.
- b. Fences shall be setback 6” from the property line
- c. Any and all types of chain-link and barbwire/razor wire fences are prohibited in the redevelopment area.
- d. Permitted fence materials include:
 - NN and OS sub-districts: vinyl, wrought iron, wood, and recycled plastic. Wood fences shall be painted white, left natural, or stained with a color approved by the Zoning Officer or Township Planner.
 - TV, DR, NT, and ML sub-districts: Powder coated wire mesh, brick, decorative masonry stone, or wood. Wood fences shall be painted white, left natural, or stained with a color approved by the Zoning Officer or Township Planner. Masonry stone exterior finished shall be approved by the Zoning Officer.
- e. Fences are prohibited in the front yard except around basins for non residential developments for protection.
- f. Corner Properties: Each corner property has a primary street and secondary street. Fences are not permitted in the front yard setback facing the primary street. Fences are permitted in the side street side 1’ from the build to line. The fence cannot extend beyond the front façade of the building facing the primary street.

3.3.9 Placement of Utilities

- a. All utilities shall be placed underground specifically along Juliestown Road, Pemberton Browns Mills Road, Trenton Road, and Lakehurst Road within the designated redevelopment area.

4.0 PERMITTED USES

KEY

- P = Permitted Use
 C = Conditional Use
 - = Not Permitted

	TV	DR	NN	ML	NT	OS
Residential						
Single Family Detached	-	-	P	-	-	-
Twin/2 Family	-	-	P	-	-	-
Townhomes	-	-	P	-	-	-
Multifamily (No more than 4 units per building)	-	-	P	-	P	-
2 nd and 3 rd floor condo units	P	P	-	P	P	-
Business and Professional Offices						
Professional Offices for architects, advertising, engineers, graphic designers, photographers, accountants, lawyers, public relation agencies and other similar uses	P	P	C	P	P	-
Real Estate Brokers, Rental and Leasing Offices	P	P	C	P	P	-
Finance and Insurance Professional Offices	P	P	C	P	P	-
Banks with drive thru windows	C	P	-	C	C	-
Retail/General Services/Other Services						
Hotels	-	C	-	-	-	-
Family Clothing Stores	P	P	-	P	P	-
Jewelry Store	P	P	-	P	P	-
Bed-and-Breakfast Inns	-	-	P	-	P	-
Full-Service Restaurants	P	P	-	P	P	-
Drive Thru Restaurants	-	C	-	-	-	-
Barber Shop and Beauty Salon	P	P	-	P	P	-
Nail Salon	P	P	-	P	P	-
Pharmacy and Drug Stores with Drive Thru Windows	-	C	-	-	-	-
Supermarkets and Other Specialty Grocery Stores	-	P	-	-	-	-
Bakery	P	P	-	P	P	-
Ice Cream Parlor	P	P	-	P	P	-
Book Store	P	P	-	P	P	-
Cafe	P	P	-	P	P	-
Outside/Sidewalk Café associated with a full service restaurant	C	C		C	C	



	TV	DR	NN	ML	NT	OS
Deli	P	P	-	P	P	-
Home Furnishings/Home Center	-	P	-	-	-	-
Computer, Software and Electronic Equipment	-	P	-	-	-	-
Office Supply	-	P	-	-	-	-
Florist	P	P	-	P	P	-
Camera and Photographic Supplies Stores	P	P	-	P	P	-
Hardware Stores	-	P	-	-	-	-
Arts, Entertainment, Recreation						
Fitness and Recreational Sports Centers	-	P	-	P	-	-
Sporting Good Stores	-	P	-	P	-	-
Sporting Goods Lease and Rentals	-	P	-	P	P	-
Art Gallery	P	P	-	P	P	-
Movie Theater	-	P	-	-	-	-
Healthcare and Social Services						
Professional Medical Office including physicians, dentists, optometrists, and chiropractors and similar medical relate services.	P	-	C	P	P	-
Outpatient Care Facilities	-	P	-	-	P	-
Medical Laboratories	-	P	-	-	P	-
Child Daycare Facilities	P	P	P	P	P	-
Health Spa	P	-	-	-	P	-
Places of Worship/Religious Organizations	-	-	P	-	P	-
Public Administration/Institutional/Parks						
Post Office	-	-	P	-	P	-
Police, Fire and Emergency Management	-	-	P	-	P	-
School	-	-	P	-	P	-
Community Parks	-	-	P	-	-	P

4.1 Conditional Uses

4.1.1 Banks with Drive Thru Windows

- a. Drive-thru service windows are permitted in the rear and alley accessed locations provided they do not substantially disrupt pedestrian activity or surrounding uses.
- b. The drive window and queuing lanes shall not front Juliustown Road, Pemberton Browns Mills Road, Lakehurst Road or Trenton Road.
- c. The facility shall not result in weakening the concentration and continuity of retail facilities at ground level, and will not impair the retention of creation of a shopping frontage.
- d. A driveway serving as a vehicle stacking or queuing land for a drive-thru window shall be separated from parking areas.
- e. Stacking or queuing lanes shall have a maximum capacity of eight vehicles.
- f. The building complies with all General Development Standards identified in Section 3.0 et seq.

4.1.2 Hotels

- a. The goal is to attract a high quality hotel for the downtown area that will support the needs of the community, military, and Deborah Hospital.
- b. The hotel shall provide a full service restaurant serving three meals per day, contain on-site recreation amenities which may include an exercise room, swimming pool, and or tennis courts.
- c. The hotel development shall be consistent with all General Development Standards identified in Section 3.0 et seq.
- d. The primary building access shall face a primary street.
- e. The site shall be landscaped with a variety of local species and high-quality landscape materials. A Landscape Plan shall be submitted and approved by the Board Planner.
- f. The applicant shall comply with all screening, buffering, parking and landscape standards in Sections 3.0 and 5.0 et seq.
- g. The majority of the general parking, employee parking and loading areas shall be located in rear of building and where appropriate located within a structured parking facility that is consistent with the General Development Standards identified in Section 3.0 et seq. Handicap accessible parking and short term parking shall be permitted in the front of the building in at the reviewing board's discretion.
- h. The parking requirement shall be as follows:
 - 1 space per hotel unit
 - 0.5 space per employee
 - 1 space per 500 sq ft of restaurant dining space.

4.1.3 Pharmacy with Drive Thru Windows

- a. Drive-thru service windows are permitted in the rear and alley accessed locations provided they do not substantially disrupt pedestrian activity or surrounding uses.
- b. The drive window and queuing lanes shall not front Juliustown Road, Pemberton Browns Mills Road, Lakehurst Road or Trenton Road.
- c. The facility shall not result in weakening the concentration and continuity of retail facilities at ground level, and will not impair the retention of creation of a shopping frontage.
- d. A driveway serving as a vehicle stacking or queuing land for a drive-thru window shall be separated from parking areas.
- e. Stacking or queuing lanes shall have a maximum capacity of eight vehicles.
- f. The building complies with all General Development Standards identified in Section 3.0 et seq.

4.1.4 Professional Office/Live-Work in NN Sub-district

- a. Live-Work quarters for professional services such as medical, financial, engineering, legal and similar uses are permitted as a conditional use in the NN sub-district.
- b. Live-Work quarters shall not interfere with nor impair the residential character of the neighborhood.
- c. Live-Work shall not occupy more than 600 square feet of the principal residential use or accessory garage.
- d. Live-Work uses are restricted to the owner plus one employee and shall not be noxious, disruptive, or affect parking for the neighborhood residents.
- e. Live-Work shall provide two parking spaces which are located in the rear of the building and comply with screening, landscaping, and parking standards in Sections 3.0 and 5.0 et seq.
- f. No display or advertising of services shall be visible from the street.
- g. No occupational sounds shall be audible outside the building. No machinery or equipment shall be used which will cause interference with radio and television reception in neighboring residences.
- h. The use does not reduce the parking or yard requirements of the principal use.
- i. Deliveries shall be standard FED EX, UPS, and Postal Services and shall not require a loading area.
- j. No raw materials, electronics, home furnishings, heavy machinery, automotive related, light industrial and similar uses shall be sold on site.
- k. Professional services shall be performed between the hours of 8:00 am and 7:00 pm, Sunday through Saturday.

4.1.5 Restaurants with Drive Thru Windows

- a. Drive-thru service windows are permitted in the rear and alley accessed locations provided they do not substantially disrupt pedestrian activity or surrounding uses.
- b. The drive window and queuing lanes shall not front Juliustown Road, Pemberton Browns Mills Road, Lakehurst Road or Trenton Road.
- c. The facility shall not result in weakening the concentration and continuity of retail facilities at ground level, and will not impair the retention of creation of a shopping frontage.
- d. A driveway serving as a vehicle stacking or queuing land for a drive-thru window shall be separated from parking areas.
- e. Stacking or queuing lanes shall have a maximum capacity of eight vehicles.
- f. The building complies with all General Development Standards identified in Section 3.0 et seq.

4.4.6 Outside/Sidewalk Café

- a. Outside/Sidewalk cafés must provide at least six feet of unobstructed improved sidewalk for pedestrians to bypass the outside seating. The minimum distance shall be measured from the front façade of the building to the curb line. For purposes of the minimum clear path, parking meters, traffic signs, trees, and all similar obstacles shall constitute as an obstruction.
- b. The operators/owners of a sidewalk café agrees to hold harmless and to defend, at the sole expense of operator/owner, any action brought against the Township based upon the issuance of a building or encroachment permit for this use. The operator/owner shall indemnify and reimburse the Township for any judgment for damages, court costs, and attorney's fees that the Township may be required to pay as a result of any such action.
- c. The operator/owner of a sidewalk café shall continually bus tables and provide a final cleanup at the end of the business day that will include litter pickup 100 feet in each direction from the site.

5.0 STREET HIERARCHY PLAN

Purpose and Intent: Streetscape design is the first thing travelers notice when they enter Browns Mills. It is important that the first impression creates a positive feeling. The streetscape design guidelines apply to all streets, on-street parking, and sidewalks. The intent of the streetscape plan is to create a safe pedestrian environment that encourages walking, window shopping, human interaction, and festival atmosphere. All developers within the redevelopment area are required to construct streetscape improvements as identified in Section 5.0 et seq. including new sidewalks, ornamental lights, street trees, and planter beds.

How it works...

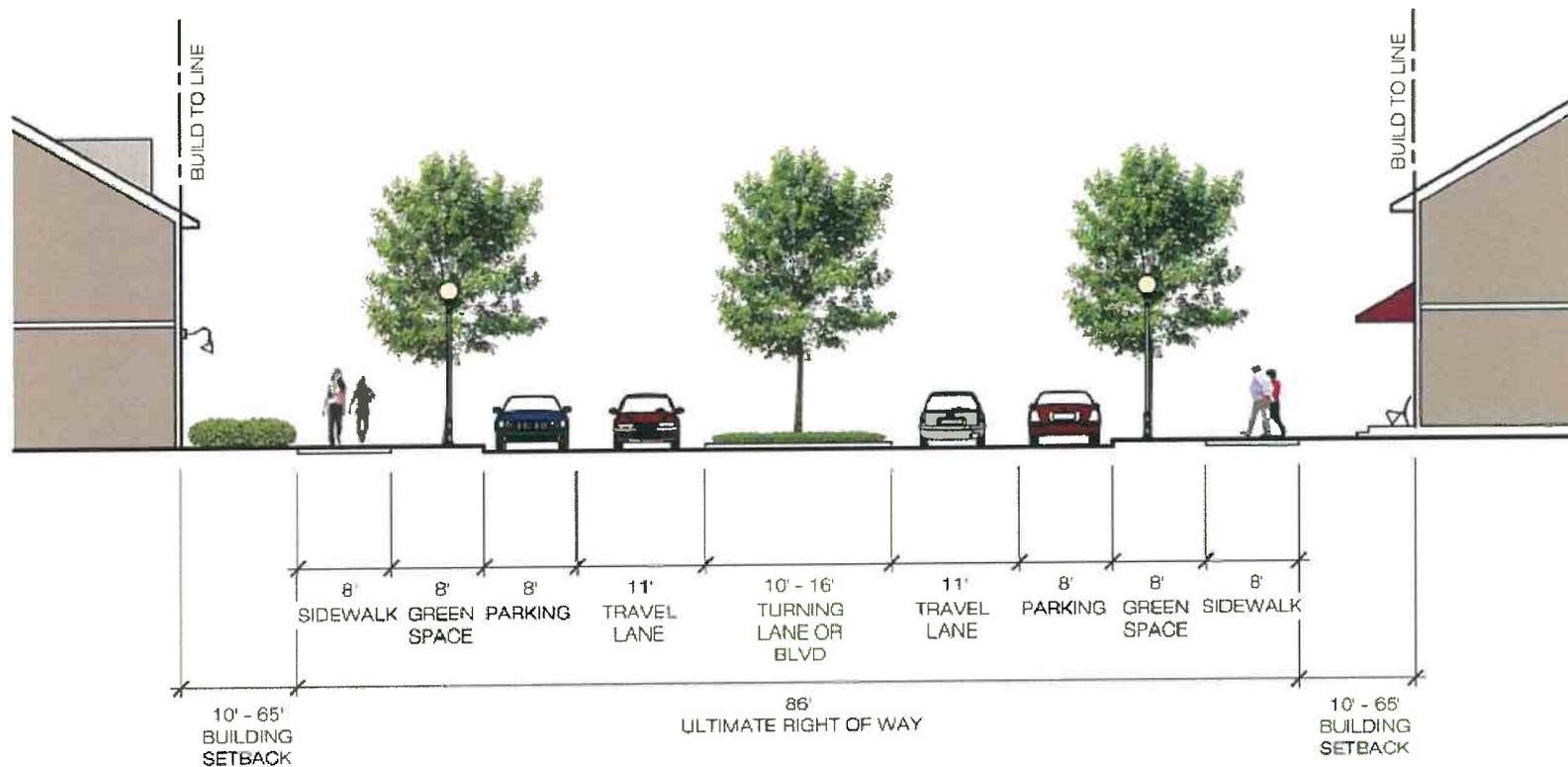
1. Look at the Street Hierarchy Map below and determine which street the property in question fronts.
2. Review the streetscape conceptual diagrams in Sections 5.1-5.5 to determine design requirements for that particular street.
3. Review Section 5.6 et seq. to determine dimensions and materials to be utilized as part of the streetscape program.

5.1 Town Boulevard: Pemberton Browns Mills Road/Broadway

Street Design Standards

Vehicle Speed:	25 mph	Tree Spacing	Min. 30'	Max. 40'
Street Edge:	Concrete Square Curb	Sidewalk Width	8'	15'
Tree Lawn:	Wells or Grates, Landscaped	Landscape Area/Utility	5'	10'
Pedestrian Bulb-out:	Required at all Intersection and Crosswalks	On-Street Parking Width	8'	10'
On-street Parking:	Permitted w/no time restrictions	Drive Lane Width	10'	12'
Turn Lane	Intersection Only, Remaining to be landscaped	Turn Lane Width	10'	11'

Color Code



5.2 Village Streets: Lakehurst Road and Juliustown Road

Street Design Standards

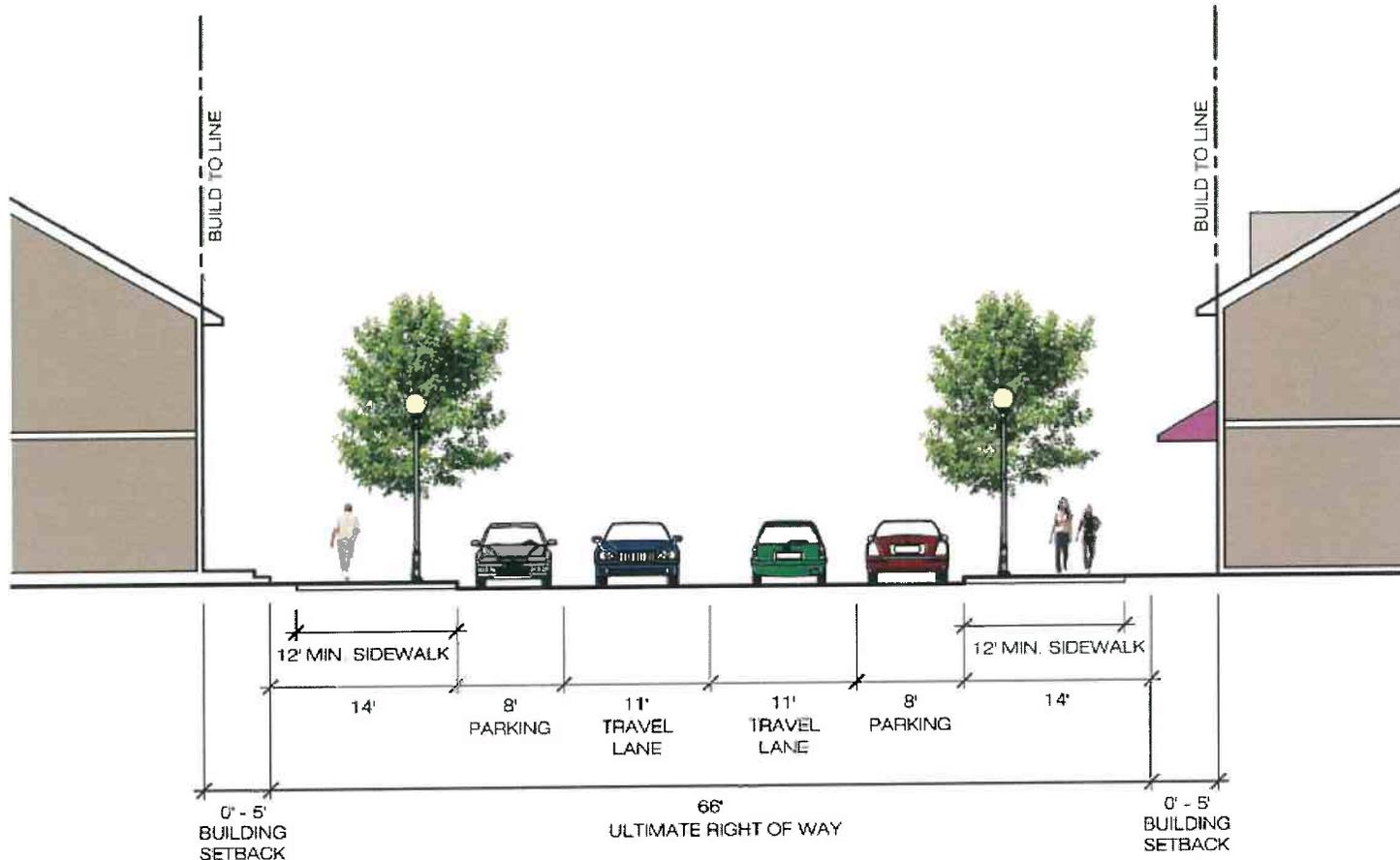
Vehicle Speed:	25 mph
Street Edge:	Concrete Square Curb
Tree Lawn:	Wells or Grates, Landscaped
Pedestrian Bulb-out:	Required at all Intersection and Crosswalks
On-street Parking:	Permitted w/no time restrictions
Turn Lane	Intersection Only, Remaining to be Landscaped

Tree Spacing	30'	40'
Sidewalk Width	12'	15'
Landscape Area/Utility	5'	10'
On-Street Parking Width	8'	10'
Drive Lane Width	10'	12'
Turn Lane Width	10'	11'

Min.

Max.

Color Code



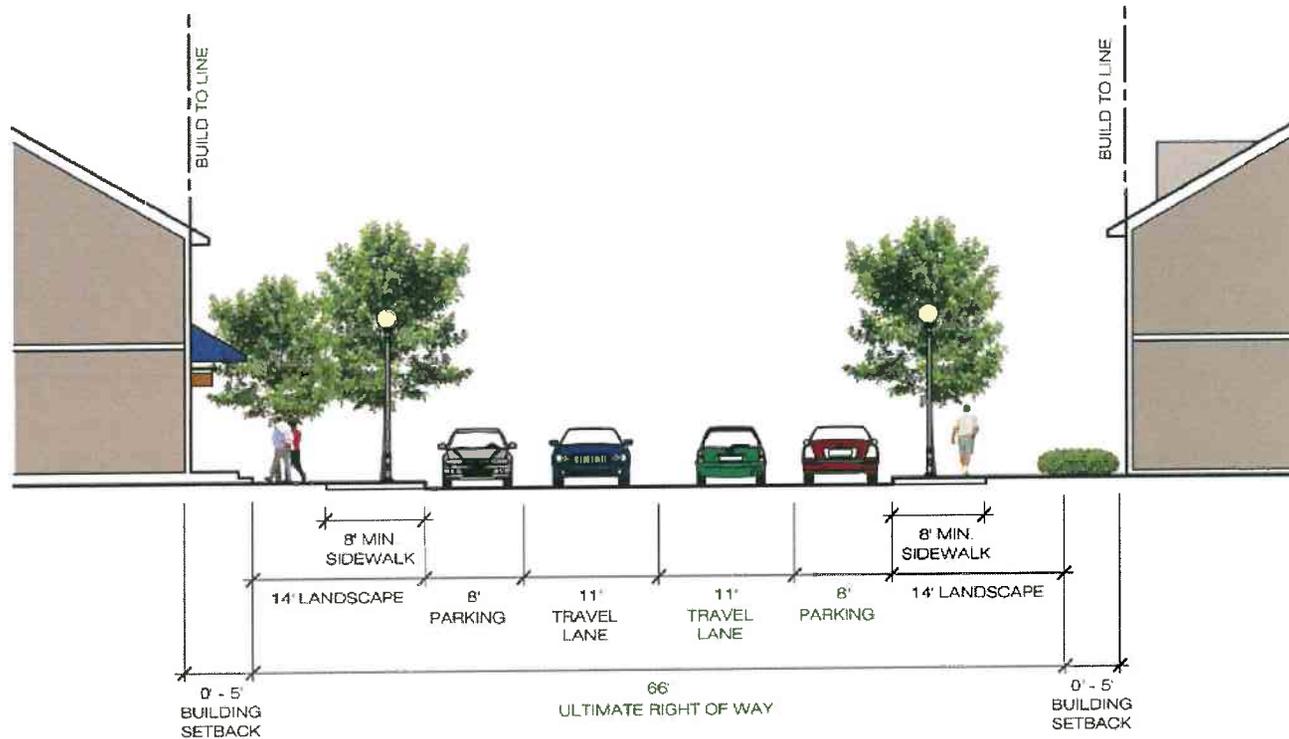
5.2.1 Village Street: Trenton

Signature Street Design Standards

Vehicle Speed:	25 mph
Street Edge:	Concrete Square Curb
Tree Lawn:	Wells or Grates, Landscaped
Pedestrian Bulb-out:	Required at all Intersection and Crosswalks
On-street Parking:	Permitted w/no time restrictions
Turn Lane	Intersection Only, Remaining to be landscaped

	Min.	Max.
Tree Spacing	30'	40'
Sidewalk Width	8	12'
Landscape Area/Utility	5'	10'
On-Street Parking Width	8'	10'
Drive Lane Width	10'	12'
Turn Lane Width	10'	11'

Color Code



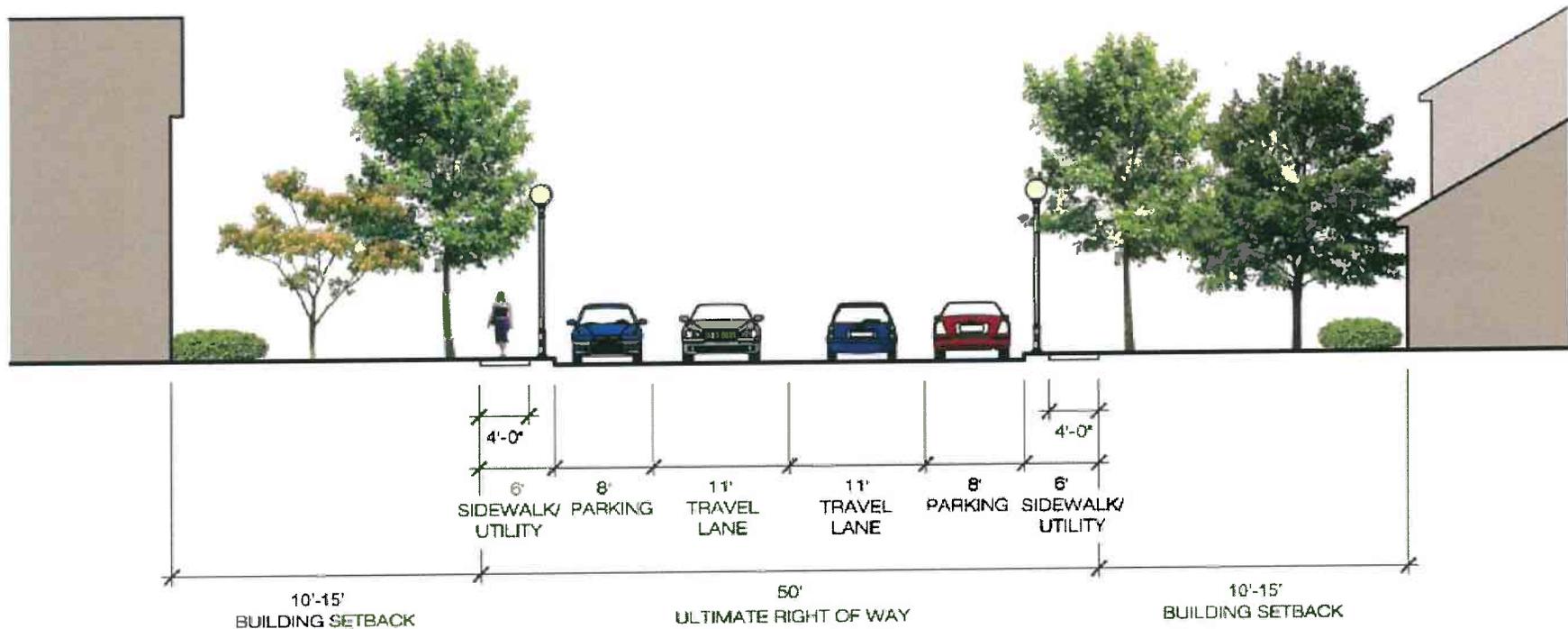
NOTE
A 10'-0" TURNING LANE SHALL BE ACCOMMODATED WHERE APPROPRIATE.

5.3 Residential Neighborhood

Signature Street Design Standards (Primary and Side Streets)

Vehicle Speed:	25 mph		Min.	Max.
Street Edge:	Belgium Block	Corner Radius	-	25'
Tree Lawn:	Wells or Grates, Landscaped	Tree Spacing	25'	30'
Pedestrian Bulb-out:	Intersection and Crosswalks	Sidewalk Width	4'	6'
On-street Parking:	Permitted w/no time restrictions	Landscape Area/Utility	5'	8'

Color Code 

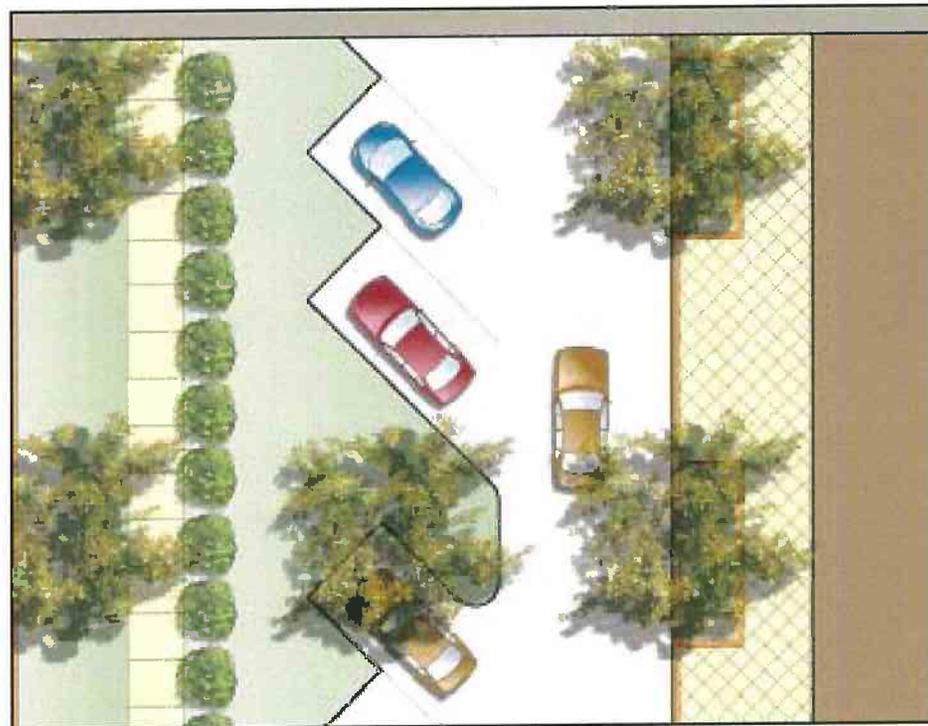


5.4 Juliustown Road Plaza

Signature Street Design Standards

Vehicle Speed:	10 mph	Sidewalk Width	10'	Min.	15'	Max.
Street Edge:	Belgium Block	Drive Aisle	-		15'	
Tree Lawn:	Wells or Grates, Landscaped	Corner Radius	-		25'	
Pedestrian Bulb-out:	Intersection and Crosswalks	Tree Spacing	25'		30'	
On-street Parking:	Permitted w/no time restrictions	Sidewalk Width	5'		8'	
Parking Depth	18'	Landscape Area/Utility	5'		8'	

Color Code 



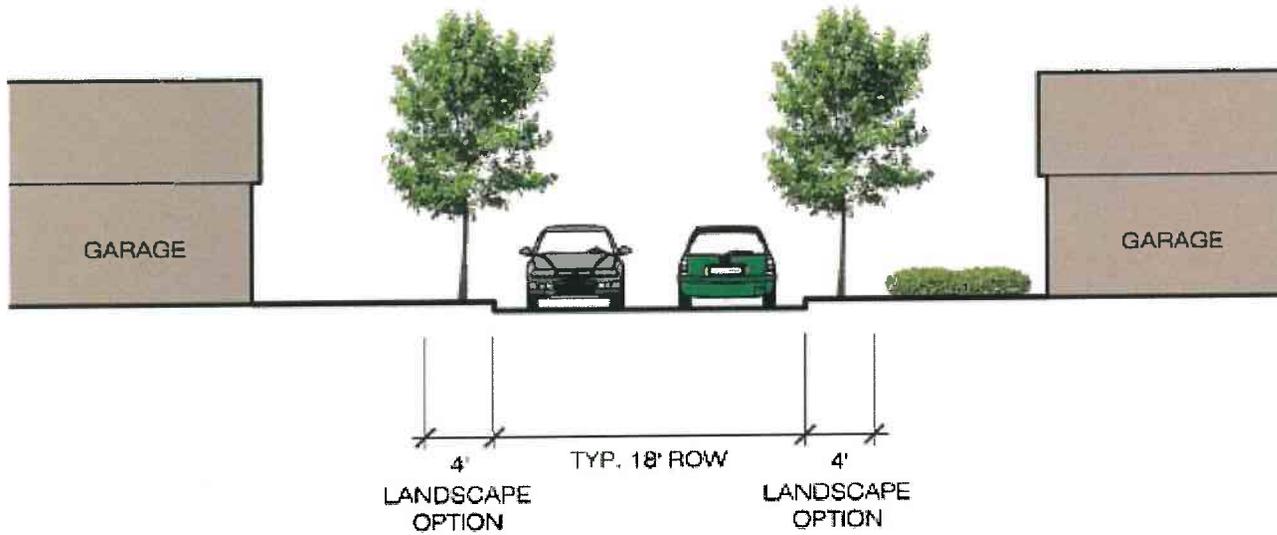
5.5 Alley

Alley Standards Design Standards

Vehicle Speed: 15 mph
Street Edge: Concrete curb or Belgium Block
Tree Lawn: Landscaped

	Min.	Max.
Lane Width	18'	24'
Corner Radius	-	25'

Color Code 



5.6 General Streetscape Requirements and Principles

- a. Roadway and drainage designs shall conform to Burlington County Standards.
- b. Parallel on-street parking is permitted on all streets within the Redevelopment Area.
- c. Curb cuts shall be minimized to major intersections and transit stops and shall be spaced 200' apart.
- d. ADA compliant sidewalk ramps shall be constructed at major intersections and transit stops.
- e. The speed limit on all streets within the Redevelopment Area shall be 25 MPH and strictly enforced by the Township.
- f. Bump-outs shall be constructed at all intersections and designated pedestrian crossing areas to protect pedestrians and cars parked on the street.

5.6.1 Sidewalks

- a. Sidewalks on Juliustown Road shall have a minimal width of twelve feet (12').
- b. Permitted side walk materials in the TV, NR, ML and NT shall be brick and stamped concrete. At a minimum, bricks should be 4" x 8" x 2 1/4". A variation in brick pattern and size will bring an extra level a detail to the sidewalk is encouraged. All sidewalks in the TV, NT and ML District shall have a warm coloring such as terra-cotta.
- c. Sidewalks in the NN shall be broom finished concrete with scored joints. Residential sidewalks shall be a minimum of four feet (4'), and provide at least five feet (5') for a planting strip between the roadway and residential units.
- d. Decorative ornamental pavers are encouraged around street trees, planter beds, and bulb outs.



5.6.2 Pedestrian Crosswalks

- a. Pedestrian crossing areas, a minimal of eight feet (8') in width, are required at all intersections and mid block crossings to activity centers.
- b. Pedestrian crossings shall include a decorative masonry material such as bricks or pavers so that pedestrian crossing areas are highly visible.
- c. Pedestrian crossing lights shall be installed at all intersections and traffic lights.
- d. A twelve inch (12") wide concrete or stone border shall be placed around any pedestrian crossing area.



5.6.3 Street Trees

- a. Street trees planted on Juliustown Road, Pemberton Browns Mills Road, Lakehurst Road, and Trenton Road shall be spaced 30 - 40 feet on-center. Native Pinelands species shall be planted such as oaks and maples.
- b. Street trees planted on residential streets shall be spaced 30 feet on-center. Native Pinelands species shall be planted such as oaks and maples.
- c. Street trees shall be a minimum of 3 ½" Caliper Class I shade trees and meet the American Nursery Association Standards.

5.6.4 Street Lighting

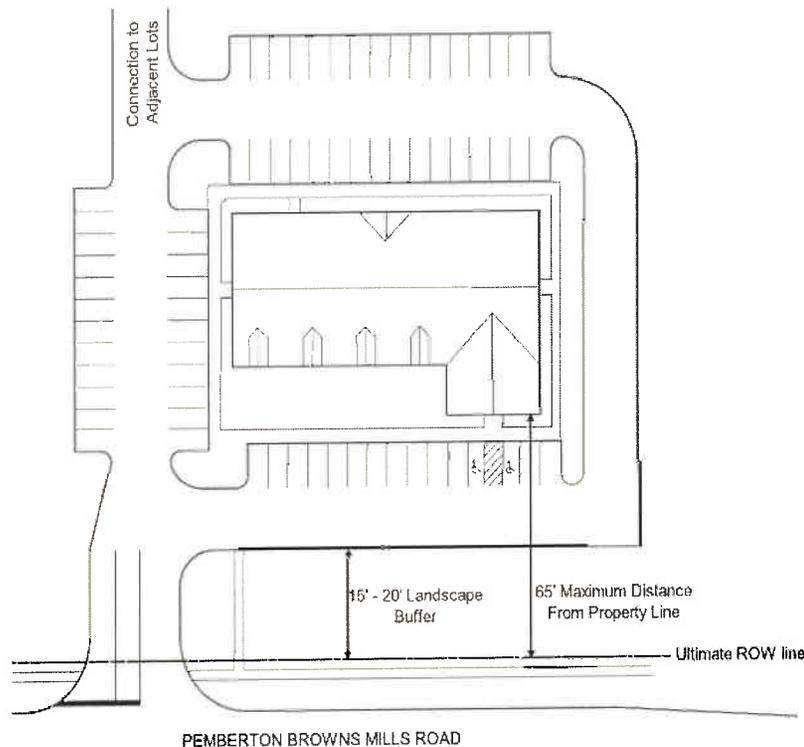
- a. The governing body has utilized the Sternberg Model A 850 Street Lights. These lights shall be installed on all streets within the redevelopment area. Street light poles shall have an external electrical outlet.
- b. All pole fixtures shall be painted black including traffic lights.
- c. LED lights and solar power lights are encouraged.
- d. Public safety concerns shall be addressed through lights and video cameras. Cobra head and shoe box head lights are prohibited.
- e. All lights within a parking lot shall have cut off luminaries.

5.6.5 Street Furnishings

- a. Street benches, trash cans, public art, information kiosks, courtyards, and garden walls are encouraged. These elements shall be located on the sidewalk near the bump outs.
- b. All streetscape elements shall be consistent with each other and reflect the natural environment of Browns Mills throughout out the Redevelopment Area. Permitted materials/finishing include:
 - Wood slates – cedar, pine and oak pressure treated
 - Metal and steel slates – all metals shall have a powder coating. Powder coating colors shall be determined by the reviewing board.
- c. Security cameras shall be located on lighting poles or other street elements with good visibility.

5.6.6 Parking

- a. Parking is prohibited in the front yard in the Town Village, Mirror Lake and Neighborhood Transition Sub-districts.
- b. Parking in the front yard is discouraged in the front yard in the Destination Retail Sub-district along Pemberton Browns Mills Road.
 - If there are special circumstances which require parking in the front yard on Pemberton Browns Mills Road, the following standards shall be used:
 - One row of parking facing the front of the building is permitted
 - A 15'-20' landscape buffer must be provided from the Ultimate ROW line to the parking area drive aisle.



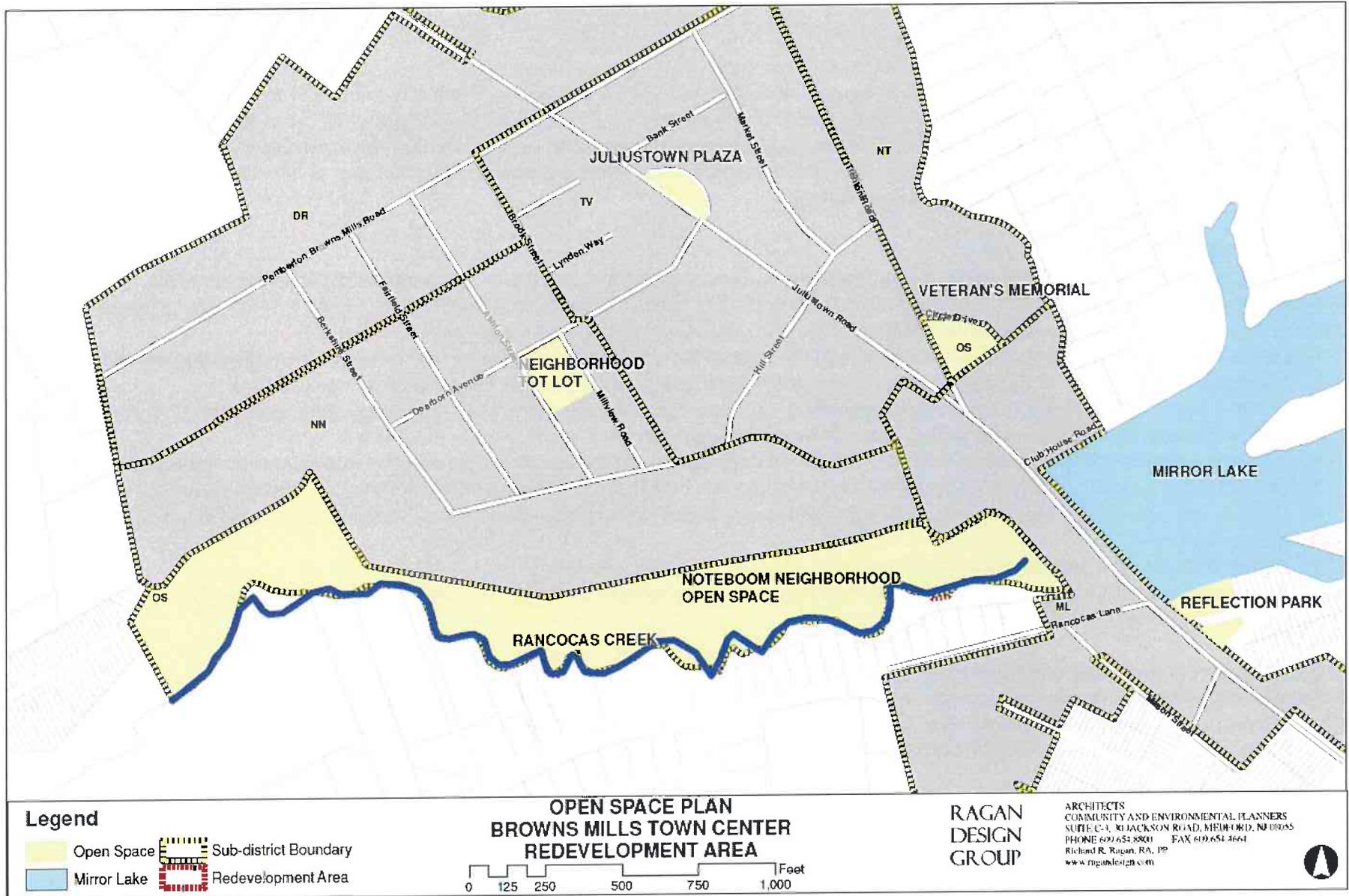
- c. Shared parking and cross easements for improving parking and circulation are encouraged.
- d. Surface parking lots shall be landscaped with ornamental trees and ground cover plants. Landscaped parking islands, 10 feet (10') in width, are required for every 140 lineal feet of parking. Landscaped islands shall be irrigated with a water meter system.
- e. Side and Rear parking lot setbacks in the TV, ML, and NT sub-districts:
 - 15' from a residential use (not including mixed use buildings), NN sub-district, or any abutting residential zoning district which is not included in the redevelopment.
 - 10' from a non residential use with no shared parking or cross access agreement.
 - All setbacks shall be landscaped with low level plants such as Inkberries and/or Viburnums. Plants shall be planted every four feet (4') on center.
- f. Residential parking garages are discouraged from facing the primary roadway. Residential garages shall be oriented to the side of the house or in the rear of lot.
- g. Off Street parking spaces shall be 9' wide and 18' deep.



6.0 OPEN SPACE PLAN

Purpose and Intent: The Open Space Plan consists of existing amenities in the redevelopment area including Mirror Lake, the North Branch of Rancocas Creek, and the Veteran's Memorial. There will also be additional open space and recreation areas create through reconfiguration in the Noteboom Neighborhood Sub-district and emphasis placed on Mirror Lake Recreation Area and Reflection Park. The Township will embark on a marketing campaign to promote the utilization of Mirror Lake and Rancocas Creek by posting flyers on the Township's website, placing monthly advertisements in the Burlington County Times and other regional newspapers, and buying add space in outdoor magazines. The following are guidelines to improve open spaces in the redevelopment area:

1. Mirror Lake shall become a regional destination for fireworks, sunfish boat races, fishing tournaments, and outdoor adventure challenges/races.
2. A boathouse to store kayaks, canoes and sunfish sailboats shall be built at Reflection Park. Additional parking and access to Mirror Lake shall be created at Reflection Park and at the municipal parking lot on the west side of Lakehurst Road.
3. In conjunction with Burlington County's Parks and Open Space (2002) and the Rancocas Creek Greenway Plan, the Township will work with a selected redeveloper to improve public access, trail system and parking area to the creek along Noteboom Avenue.
4. A park with playground apparatus shall be constructed to meet the recreation demands for the new residential population in the redevelopment area, specifically in the Noteboom Neighborhood Sub-districts.
5. Juliustown Plaza shall be used for farmer's markets, concerts, trade shows and other outdoor trading venues.
6. A multipurpose trail shall be created around Mirror Lake and connect with the Rancocas Greenway Trail.



7.0 PLAN IMPLEMENTATION

7.1 Zoning Map Revisions

The Zoning Map of the Township of Pemberton is hereby amended and the zoning district boundary lines shall be revised as identified in the adopted Reaffirmation of the Browns Mills Town Center Redevelopment Area and Preliminary Investigation Report of Additional Areas which was adopted by Township Council on March 17, 2010. The entire redevelopment area shall be identified on the Township's official zoning map as the Browns Mills Town Center Redevelopment Area. The redevelopment plan shall supersede all provisions of the Pemberton Township Land Development Ordinance that are specifically addressed herein.

7.2 Site Plan Conceptual Meeting

All development applications located within the redevelopment area shall submit a site plan and architectural elevations to the redevelopment conceptual review committee prior to submitting plans to the planning board. Applicants are required to attend a conceptual workshop meeting with the Planning Staff or its designated review professionals. The purpose of the pre-application conference is to:

1. Determine if the proposed project is consistent with the redevelopment plan and conforms to the objectives and building standards;
2. Familiarize the applicant with the substantive and procedural requirements of Chapter 190 and redevelopment plan;
3. Provide for an exchange of information regarding the proposed development plan and applicable elements of the Master Plan, Redevelopment Plan, Chapter 190, and all other development requirements;
4. Advise the applicant of any public sources of information that may aid the applicant's progress of the application for development;
5. Identify state, regional, county, and local land use policies and that create constraints and limitations to the proposed development;
6. Review any proposed concept plans and consider opportunities to increase development benefits and mitigate undesirable project consequences;
7. Permit input into the general design of the project; and
8. Identify, to the extent practicable at this stage of the process any variances, design requirements, or submission waivers necessary for the applicant to create the proposed development.

7.3 Deviations from the Redevelopment Plan

All deviations, including use variances, from the redevelopment plan shall be presented first to the conceptual review committee prior to proceeding to the Planning Board for a determination. The Planning Board may grant bulk variances and exceptions from the General Development Standards if deemed reasonable and within the general purpose and intent of the redevelopment plan.

7.4 Site Plan Submission

The applicant shall submit a site plan in accordance with this redevelopment plan and Section 190-45 of the Township Land Development Code and any other reports deemed necessary by the Planning Board. Additionally, the applicant shall submit plans that demonstrate the Regulating Plan, Building Typologies, General Development Standards, Permitted Land Uses, and Street Hierarchy Plan have been met in accordance with the regulations identified in this redevelopment plan.

All applicants within the redevelopment area shall be required to provide a phasing plan for review and approval by the Planning Board and its professionals. The Phasing Plan shall include timeline to acquire property, secure all permits, construction timeline, installation of public improvements and streetscape enhancement as required by this redevelopment plan, and approximate deliverable date. The phasing plan shall also include an interim use for the property and duration of the period during the interim period when property remains in its same use.

7.5 Lot Consolidation

As identified in the preliminary investigation report, there are numerous undersized parcels in the downtown area as a result of the 1916 *Philadelphia Press Lots*. The undersized parcels have made it challenging for the Township to assemble large tracts of land for development. Additionally, the undersized parcels have created property title issues which are identified in the reaffirmation report. To improve lot line delineations and facilitate development that is more consistent with current market conditions, all parcels under common name and/or ownership located within the Redevelopment Area shall be consolidated at the time of site plan approval and new deeds shall be filed with the county clerk and the Township's tax maps shall be amended accordingly.

7.6 Acquisition

All parcels, except otherwise specifically identified herein, that are identified within the "Area in Need of Redevelopment to Be Studied Block and Lot List" and "Existing Browns Mills Town Center Redevelopment Area Block and Lot List" in Resolution 86-2010, adopted March 17, 2010 by Township Council are governed by this plan and may be acquired in order to carry out and effectuate the purposes of the Local Redevelopment Housing Law and the objectives of the redevelopment plan. In accordance with N.J.S.A. 40A:12A-8b and 40A:12A-22, the Township of Pemberton may acquire at its discretion, through the power of eminent domain, any lot within the redevelopment area. A redeveloper will pay and/or reimburse all of the Township's costs associated with any land or building acquisition, including professional fees, appraisals, relocation expenses and land costs.

There are existing single family homes between Pemberton Browns Mills Road, Berkshire Street, Dearborn Avenue and Brook Street that are situated in the R-80 overlay zoning district. The 1995 redevelopment plan rezoned these residential homes to Town Center (TC), but created an R-80 overlay zoning district to supersede the TC requirements in order to protect the character of these residential homes. An overlay zone is a "transparent" zone that lies on top of the existing zoning, also known as the base zone. The purpose of this particular overlay zone is to allow the existing single family homes to utilize the bulk requirements for the R-80 zone instead of conforming to the commercial-focused design standards within the TC zone. The overlay zone has enabled these home owners to build decks and construct additions on their property without going before the Zoning Board for setback variances. Both the Downtown Browns Mills Strategic Revitalization and Redevelopment Study and the Browns Mills Town Center Redevelopment Plan envision this area remaining residential with similar residential building types such as bungalows and cape cods. The below-listed residential properties shall not be acquired by the Township through condemnation:

- Block 531/Lots 12-29;
- Block 532/Lots 12-49;
- Block 533/Lots 12-49; and
- Block 534/Lots 12-49.

7.7 Relocation

Implementation of the redevelopment plan may require the acquisition of private property and the relocation of owners and tenants. Prior to any relocation activity, the Township will make adequate provisions for the temporary and permanent location of residents and commercial businesses. Relocation activities will comply with all applicable Federal and State statutes including the Relocation Assistance Law of 1967, N.J.S.A. 52:31B-1 et seq., the Relocation Assistance Act, N.J.S.A. 20:4-1 et seq., and the Relocation Assistance and Eviction Regulations of the Department of Community Affairs, N.J.A.C. 5:11-1.1 et seq.

Additionally, no relocation activities, sponsored by the municipality, will take place until a Workable Relocation Assistance Program (WRAP) plan is prepared and approved by the New Jersey Department of Community Affairs (NJDCA). The WRAP plan will include measures to identify the needs of the displaced persons and assist them in obtaining replacement housing and business locations through federal, state and local financing mechanisms. Once the Township decides to acquire properties, a relocation company will be hired to interview all the property owners, tenants, and businesses, advise them of relocation benefits, and assist with locating replacement sites.

A WRAP plan will only be needed when the Township is acquiring properties through eminent domain. A redeveloper, who is not utilizing public funds for any aspect of the redevelopment project, is not required to file a WRAP plan. In this situation, the costs associated with relocation are negotiated during the sale of the property between the property owner and redeveloper.

At this time, it cannot be determined how many commercial properties, residential homes, and industrial sites will have to be acquired and relocated in order to implement the redevelopment plan. The actual cost and relocation impact will be unknown until the redevelopment plan is ready to be implemented and a redeveloper has been selected.

As the Township and redeveloper proceed with implementing the redevelopment plan, this section of this document will be amended on an as needed basis and a new WRAP plan will be submitted to NJDCA for approval. The cost of relocation will be borne by the Township and if applicable, the redeveloper. To offset the cost for acquiring properties, Pemberton may apply for, and receive, grants to cover the cost or portion of the project, or arrange for relocation costs to be incurred by the redeveloper.

7.8 Affordable Housing

N.J.S.A 40A:12A-7(6) requires a redevelopment plan contain an inventory of all housing units affordable to low and moderate income households, as defined pursuant to Section 4 of P.L.1985, c.222 (C.52:27D-304), that are to be removed as a result of implementation of the redevelopment plan. Additionally, N.J.S.A. 40A:12A-7(7) requires a redevelopment plan to contain a provision that new or substantial rehabilitated affordable replacement housing units will be created for each affordable housing unit that has been occupied within the designated redevelopment area at any time within the last 18 months, which will be replaced as a result of implementation of the redevelopment plan. These particular sections of the N.J.S.A are not applicable to the Browns Mills Town Center Redevelopment Area and Expanded Redevelopment Area. There are no affordable housing units within the existing Browns Mills Town Center Redevelopment Area and newly expanded redevelopment area; therefore, there will be no relocation or displacement of affordable housing units.

Due to COAH's state of uncertainty and the existing Stay Order issued by the Appellate Division, the redeveloper will be required to provide his/her fair share of affordable housing units based on the rules and mechanisms at the time the redevelopment agreement is executed. The Fair Housing

Act of 1985 is a constant in New Jersey; therefore, the Township needs to plan on creating mechanisms and funding sources to provide affordable housing within the fabric of the community.

7.9 Relationship to Other Plans

7.9.1 New Jersey State Development and Redevelopment Plan

The State Planning Act of 1985 mandated the New Jersey State Development and Redevelopment Plan (SDRP), which establishes State-level planning policy. The State Plan is intended to serve as a policy guide for State departments and agencies, regional, county and municipal jurisdictions.⁵ It advocates Smart Growth planning, by targeting the State's resources and funding in ways that are consistent with well-planned, well-managed growth. Smart Growth is a comprehensive strategy for sustainable development, i.e., development that meets the needs of the present generation without compromising the ability of future generations to meet their needs. Smart Growth emphasizes principals such as mixed land uses, compact community design, and community and stakeholder collaboration in development decision-making

The SDRP is a reaction to the inefficient use of land and infrastructure and lack of a sense of community associated with suburban sprawl. It is intended to provide a balance between growth and conservation by designating planning areas that share common conditions with regard to development and environmental features. Basically, it seeks to maintain and revitalize existing cities and towns, focus growth into compact mixed-use communities that offer array of choices and options, and protect farmland and natural resources.

The last state plan was adopted in 2001 and the mandatory update is overdue. In January 2010, the State Planning Commission adopted a Draft Final State Plan which recognized Browns Mills as a Pinelands Regional Growth Area. The Township's vision to revitalize its downtown and create a mixed use neighborhood is consistent with the policies suggested in the SDRP 2010.

7.9.2 Burlington County Comprehensive Plan

The Burlington County Department of Economic Development and Regional Planning recently completed the Northern Burlington County Regional Strategic Plan (hereafter "Regional Strategic Plan") and the Northern Burlington County Growth and Preservation Plan (hereafter "GAPP"). The policies in the Regional Strategic Plan support the strategies and recommendations in the GAPP.

The GAPP Plan evaluated existing planning and zoning practices in the Northern Burlington County and determined that local land use policies promote sprawl and loss of the County's rural character, agricultural industry, and quality of life. To change this outcome, the GAPP recommends a new development strategy, known as Transects that utilizes a system of centers and corridors as the basis for future development, rather than sprawl type of development. It suggests that planning move beyond strict town boundaries so that it can occur on a regional basis.

The Regional Strategic Plan recommends establishing higher development densities, clustering in specific areas, and wastewater management systems in centers and nodes in the region in order for centers to become a realistic growth organizing principle for the rural communities of Northern Burlington County. It recognizes that redevelopment opportunities exist in Browns Mills. Additionally, the plan advocates that communities surrounding Fort Dix and McGuire Air Force Base, like Pemberton, diversify their local economies in order to avoid being overly dependent on the military for their economic futures, despite the proposed "mega base" investment.

⁵ New Jersey State Development and Redevelopment Plan, Draft Final Plan, January 2010; page 243.

The GAPP recommends that the State Planning Commission recognize particular Pinelands Regional Growth Areas (RGAs) which could be considered as additional State Plan-style “Town Centers,” including the Browns Mills Town Center. Pemberton’s plan for additional commercial development and economic revitalization are consistent with Burlington County’s land use and zoning policies recommended in the GAPP.

7.9.3 Pinelands Comprehensive Management Plan

Browns Mills is located in the Pinelands National Reserve and is designated a Regional Growth Area in the Pinelands Comprehensive Management Plan (CMP) and is considered a Pinelands Town Center. For the most part, all site plans and subdivision applications must be reviewed and approved by the Pinelands Commission. Additionally, land use and zoning policies concerning land development such as density, impervious coverage, infrastructure improvements and stormwater management are reviewed for compliance with the (CMP). As part of the consensus building process, members of the Steering Committee have been meeting with representatives from the Pinelands Commission to determine an amicable revitalization plan that would not adversely impact the Pine Barrens ecological system. One area the Steering Committee has been diligently working with the Pinelands on is the area north of the Rancocas Creek along Noteboom Avenue. The area along Noteboom Avenue is impacted by a wetlands buffer that the Township has addressed with the Pinelands Commission as part of the Revitalization Plan. Negotiations over the wetlands buffer and increase in residential density is an ongoing process that requires constant communication between the Township and the Pinelands Commission. It is recommended that the Township continue to maintain an open dialogue with the Pinelands throughout the redevelopment and revitalization process.

7.9.4 Pemberton Township Master Plan

The Township adopted a new Master Plan in July 2009. The Master Plan recommends redevelopment in all areas of Downtown Browns Mills to enhance its economic vitality, improve the quality of life, and strengthen its ties to the rest of Pemberton and the surrounding communities.⁶ The Master Plan also recommends capitalizing on employment centers such as Deborah Heart and Lung Center, Burlington County Community College and the Joint Base by providing goods and services to meet their daily needs.⁷ Additionally, the land use, zoning, design guidelines, and transportation improvements suggested within this Revitalization Plan, which was amended to the Township’s Master Plan in July 2010, serve as the foundation for the creation of this redevelopment plan.

7.9.5 Adjacent Municipalities

No conflict is determined to exist between the 2011 Redevelopment Plan and the Master Plans of adjacent municipalities.

⁶ Pemberton Township Master Plan, adopted July 9, 2009,;pages 44-45

⁷Downtown Browns Mills Strategic Revitalization and Redevelopment Study; Amended to the Pemberton Township Master Plan on July 8, 2010.

8.0 DEFINITIONS

Accessory Structure: A building or structure subordinate to the principal building and used for purposes customarily incidental to the main or principal building and located on the same lot or set of attached lots therewith.

Alley: A publicly- or privately-owned secondary way which affords access to the side or rear of abutting property.

Awning: A roofed architectural projection with flexible material supported entirely from the exterior wall of a building.

Balcony: A porch connected to a building on upper stories supported by either a cantilever or brackets.

Bed and Breakfast: Dwelling, including on-sit accessory structures, containing a single-family dwelling unit in which the inn owner or manager resides; and in which, for compensation, temporary night-to-night lodging not to exceed fourteen (14) consecutive days with or without meals being provided.

Blade Sign: A blade sign is affixed to a building or other structure which extends beyond the surface to which it is affixed. Blade signs shall be at least eight (8) feet from the ground.

Block: An increment of land composed of an aggregate of lots, tracts and alleys circumscribed by thoroughfares.

Build To Line: A line parallel to the property line, along which a building shall abut.

Building Coverage: The ratio of the occupied area of the principal building to the total area of the lot.

Building Frontage: The vertical side of a building which faces the primary space or street and is built to the Build-To-Line.

Colonnade or Arcade: A covered open-air walkway at standard sidewalk level attached to or integral with the building frontage; overhead structure is supported architecturally by columns or arches along the sidewalk.

Drive-through service: An establishment that by design, physical facilities, service, or packaging procedures encourages or permits customers to receive services or obtain goods while remaining in their motor vehicles. A drive-through service facility refers to the drive through lane, the ordering point, and pick-up window or any combination thereof. The business transaction can be conducted by an employee or an automated machine.

Front Porch: A roofed area, attached at the ground floor level or first floor level, and to the front

Garden Wall: A freestanding wall along the property line dividing private areas from streets, alleys, and or adjacent lots.

Height: The vertical distance from the lowest point on the tallest side of the structure to the top of the building.

Live Work: An area comprising one or more rooms that accommodates joint work activity and residential occupancy, and that includes (1) working space reserved for and regularly used by one or more of the persons residing therein, and (2) cooking, sleeping, and sanitary facilities. All living space shall be contiguous with and made an integral part of the working space with direct access between living and working areas.

Lot Coverage: The ratio of the occupied area (principal buildings, accessory buildings and driveways) to the total area of a lot.

Lot Frontage: The property line adjacent to the frontage street.

Side Street Build to Line: Percentage of the front/side building façade the must placed on the built to line requirement.

Storefront: Building frontage for the ground floor usually associated with retail uses.

Primary Street Build to Line: Percentage of the front building façade the must placed on the built to line requirement.